



Department of Planning, Housing, and Zoning

ADMINISTRATIVE HEARING

County Commissioners Hearing Room
400 High Street
Chestertown, Maryland

Members of the public are welcome to attend meetings in person or listen to the meeting via the audio-only phone number and conference identification number listed below.

1. Dial **1-872-239-8359**
2. Enter Conference ID: **597 339 477#**

Members of the public are asked to mute their phones/devices, until the Commission Chair opens the floor for comment.

AGENDA **September 8, 2022** **10:00 AM**

APPLICATIONS FOR REVIEW:

- 22-56 Andrew and Emily Kaiser – Administrative Special Exception – Oversize Accessory Structure
24212 Comegys Bight Lane, Chestertown – Seventh Election District – Resource Conservation District (RCD)
- 22-60 Anthony and Kimberly Stancato – Administrative Special Exception – Pool in Front Yard
9843 Breezecroft Lane, Chestertown – Sixth Election District – Critical Area Residential (CAR)
- 22-61 Carol Politi and Robert Wassmann -- Administrative Special Exception – Pool in Front Yard
6778 Burris Road, Rock Hall – Fifth Election District – Resource Conservation District (RCD)
- 22-58 Joseph and Mavis Jones – Administrative Special Exception – Oversize Accessory Structure
22354 Goose Hollow Drive, Chestertown – Sixth Election District – Agricultural Zoning District (AZD)
- 22-59 Jeff and Beth Kern – Administrative Variance – Side Yard Setbacks
13840 Turners Point Road, Kennedyville – Second Election District -- Critical Area Residential (CAR)

APPLICANT OR REPRESENTATIVE MUST BE PRESENT

Meetings are conducted in Open Session unless otherwise indicated. All or part of the Administrative Hearing may be held in closed session under the authority of the MD Open Meetings Law. Meetings are subject to audio and video recordings.

Applicants will be given the time necessary to assure full public participation and a fair and complete review of all projects. Items on this Agenda are subject to change due to cancellation of projects.

If you require communication assistance, please contact the Maryland Relay Service at www.mdrelay.org or 7-1-1 Voice/TDD.



Kent County Department of Planning, Housing, and Zoning

PRELIMINARY STAFF REPORT

TO: Kent County Planning, Housing, and Zoning
FROM: Mark Carper, Associate Planner
SUBJECT: 22-56, Andrew and Emily Kaiser
Administrative Special Exception (Accessory Structure)
District 7, Map 52, Parcel 35
DATE: August 31, 2022

DESCRIPTION OF PROPOSAL

Andrew and Emily Kaiser are requesting a special exception to construct an accessory structure that exceeds 17 feet in height on a property less than 5 acres. The proposal is to build a second floor on an existing accessory structure to use as a home office. The proposed structure will be 19.5 feet in height. The 2.666-acre property is located at 24212 Comegys Bight Lane, Chestertown, in the Seventh Election District and is zoned Resource Conservation District (RCD). The surrounding area is characterized by wooded, waterfront parcels with single-family dwellings.

RELEVANT ISSUES

I. Permitted and Accessory Uses

- A. *Applicable Law:* Article V, Section 2.3 of the *Kent County Land Use Ordinance* establishes permitted principal uses and structures that may be permitted as special exceptions within the Resource Conservation District.
- B. *Staff and TAC Comments:* The applicant is proposing to construct an accessory building with a height greater than 17 feet on a parcel less than five acres.

II. Special Exception – General Standards

- A. *Applicable Law:* Article VII, Section 2 of the *Kent County Land Use Ordinance* establishes the Special Exception standards and requires the Planning Director to make findings on the following where appropriate:
 - 1. The nature of the proposed site, including its size and shape and the proposed size, shape, and arrangement of structures;
 - 2. Traffic Patterns;
 - 3. Nature of surrounding area;
 - 4. Proximity of dwellings, houses of worship, schools, public structures, and other places of public gathering;
 - 5. The impact of the development or project on community facilities and services;
 - 6. Preservation of cultural and historic landmarks, significant natural features and trees;
 - 7. Probable effect of noise, vibration, smoke and particulate matter, toxic matter, odor, fire or explosion hazards, or glare upon surrounding properties;
 - 8. The purpose and intent of this Ordinance as set forth in Article II;
 - 9. Design, environmental, and other standards of this Ordinance as set forth in Article V;
 - 10. The most appropriate use of land and structure;
 - 11. Conservation of property values;

12. The proposed development's impact on water quality;
13. Impact on fish, wildlife and plant habitat;
14. Consistency with the Comprehensive Plan, Land Use Ordinance, and where applicable the Village Master Plan;
15. Consistency with the Critical Area Program; and
16. Compatibility with existing and planned land use as described in the Comprehensive Plan, Land Use Ordinance, and where applicable the Village Master Plan.

B. *Staff and TAC Comments:*

- MDOT SHA and the Department of Public Works have reviewed this application and have no issue with County approval.
- The Health Department has commented that a non-conversion agreement that the proposed addition will not be converted into a bedroom will need to be signed and recorded on the deed of the property.
- The proposed development will be in the rear yard and will not have any adverse impact on adjacent properties or the character of the neighborhood or surrounding area.
- There will be no impact to community facilities and services nor any adverse effect on water quality, fish, wildlife, or plant habitat.
- The Comprehensive Plan is neutral on this application. The proposed development is a reasonable use of the property.

STAFF RECOMMENDATION

Staff recommends approval of the special exception for the addition of a second floor to an existing garage for use as a home office. Recommended condition includes:

1. A non-conversion agreement that the proposed addition will not be converted into a bedroom be signed and recorded on the deed of the property.
2. The special exception will lapse after the expiration of one year if no substantial construction in accordance with the plans herein presented occurs.

ADMINISTRATIVE HEARING APPLICATION

Kent County Department of Planning, Housing, and Zoning

Kent County Government Center
400 High Street • Chestertown, MD 21620
410-778-7423 (phone) • 410-810-2932 (fax)

IN THE MATTER OF THE APPLICATION OF: (Name, Address and Telephone Number of Applicant)

ANDREW AND EMILY KASER

24212 COMEGYS BLVD LANE

CHESTERTOWN, MD. 21620

Email: EMILY.FINTEL.KASER@GMAIL.COM

For Office Use Only:

Case Number: _____
Date Filed: _____
Filed by: _____
Applicant: _____
Date of Hearing: _____
Parties Notified: _____
Notice in Paper: _____
Property Posted: _____

Please provide the email of the one person who will be responsible for responding to comments. Only this person will be contacted by staff and will be the person responsible for forwarding the comments or requests for additional information to any other interested parties. EMAIL: JOHN@JOHNHUTCHARD.COM

TO THE DEPARTMENT OF PLANNING, HOUSING AND ZONING: In accordance with Article _____
Section _____ of the Kent County Land Use Ordinance, as amended, request is hereby made for an

Administrative Hearing for:

_____ Variance ☒ Special Exception _____ Determination of Nonconforming Use

DESCRIPTION OF PROPERTY INVOLVED:

Located on: (Name of Road, etc.) 24212 COMEGYS BLVD LANE

In the _____ Election District of Kent County.

Size of lot or parcel of Land:

Map: 0052 Parcel: 0135 Lot #: _____ Deed Ref: _____

List buildings already on property: MAIN HOUSE, GARAGE

Subdivision name and address, if applicable: _____

PRESENT ZONING OF PROPERTY: RESOURCE CONSERVATION DISTRICT

DESCRIPTION OF RELIEF REQUESTED: (List here in detail what you wish to do with property that requires the Appeal Hearing.) BUILD 2ND FLOOR ADDITION OVER EXISTING GARAGE, TO BE USED AS HOME OFFICE. REQUESTING A RELIEF OF ACCESSORY STRUCTURE HEIGHT, FROM 17' TO 19'-6".

Present owner of property: ANDREW AND EMILY KASER Telephone: 410.810.4550

If Applicant is not owner, please indicate your interest in this property: _____

Has property involved ever been subject to a previous application? UNKNOWN

If so, please give Application Number and Date: _____

PLEASE FILL IN BELOW, OR ATTACH HERETO, A SKETCH OF THIS PROPERTY.

List all property measurements and dimensions of any buildings already on the property.

Put distances between present buildings or proposed buildings and property lines.

NAMES OF ADJOINING PROPERTY OWNERS:

Owner(s) on the North: CHARLES E. CONKLIN

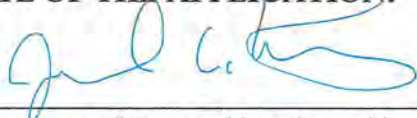
Owner(s) on the South: M. RICHARD KALTER

Owner(s) to the East: COMPTON CORP.

Owner(s) to the West: DONALD FREDERICK HEWES

Homeowners Association, name and address, if applicable: N/A

BY SIGNING THIS APPLICATION, I GRANT THE DEPARTMENT OF PLANNING, HOUSING AND ZONING THE RIGHT TO ENTER ONTO THE PROPERTY FOR THE PURPOSE OF VIEWING THE SITE OF THE APPLICATION.

 (ARCHITECT)
Signature of Owner/Applicant/Agent or Attorney

7/29/22
Date

Please file this form at 400 High Street, Chestertown, MD 21620 accompanied by **\$200.00** filing fee made payable to the County Commissioners of Kent County. If you have any questions, contact the Kent County Department of Planning, Housing and Zoning.

NOTICE: The Department of Planning, Housing and Zoning is not required to make out this application. Application should be filled in by Applicant or its agent. If the Planning Department assists you, they cannot be held responsible for its contents.

Applicants arriving more than 10 minutes after the scheduled hearing will not be heard and will be re-scheduled at the applicant's expense.

August 31, 2022

**Re: JHA Project #21031 - Comegys Bight Renovations
24212 Comegys Bight Lane, Chestertown MD
Special Exception Narrative**

To whom it may concern,

The following narrative contains comments I would like to make in support of our request for a Special Exception Administrative Variance relative to the proposed height of a new 2nd floor office addition above an existing detached Garage, located at the address identified above.

- A. Prior to employing my office to design this project, and also subsequently, the owners have polled some of their neighbors to see if anyone would be apposed to the Garage Second Floor Addition, shown in my drawings that are labeled, "Variance Submission", and dated 29 July, 2022. To date, they have have received no objections from their neighbors - only comments of support. The design of the 2nd Floor Garage addition, is intentionally modest, and within keeping of the modest aesthetic of surrounding residences and farmland. The scale and design of the proposed building is consistent with the County Comprehensive Plan and Land Use Ordinance, except the proposed height of 19'-6" is greater than the allowed maximum height of 17' for accessory structures, as defined within the ordinance. As such, we are requesting a special exception to allow for the additional 2'-6" of height for this proposed 2nd floor addition.
- B. The Owner's of the property, Andrew and Emily Kaiser, both work from home as consultants. The proposed addition is to be used for the purpose of a "home" professional occupation, which is allowed within the ordinance. The design uses a similar roofline as the house, making the structures compatible and complementary of one another. The house is larger, and slightly taller, making the Garage with addition subordinate to the house.
- C. The proposed second floor addition uses the same footprint as the 1st floor, and although the roof design is different than what exists on the Garage today, the new roof is proposed to use the same overhang footprint as the existing roof. Accordingly, there is no change in impervious coverage as a result of this addition. Additionally, it is our position that the proposed addition will have no impact on fish, wildlife, plant habitat, or water quality, and is consistent with the Critical Area Program.
- D. Prior to John Beskid retiring, we approached the Kent County Health Department regarding what their position would be as it relates to the proposed 2nd floor Office Addition. The results of those conversations are identified on Sheet A0.03 of my submitted drawings. Per the documentation on Sheet A0.03, the Health Dept. stated they would be amenable to the proposed addition (including the proposed half bath) provided a non conversion agreement be recorded at the Kent County Court House stating the Office Space is not to be used as a Bedroom. The Owners intend to be filing a non-conversion agreement with the County Court House, as part of this project/approval process.
- E. The proposed addition is over an existing detached Garage. Although the entire existing house is within the 100' buffer, the Garage sits "behind" the house, as is entirely outside the 100' buffer. The existing Garage location is consistent within the land use ordinance, and has no impact towards other structures on

neighboring properties. Accordingly, neighboring land use values will not be impacted negatively.

I trust the above comments will help you understand this project, and why we consider our request for a Special Exception to be reasonable, and not in conflict with the County's Land Use Standards.

My sincerest thank you, for your time and consideration,



John C. Hutchison, AIA
John Hutchison Architecture

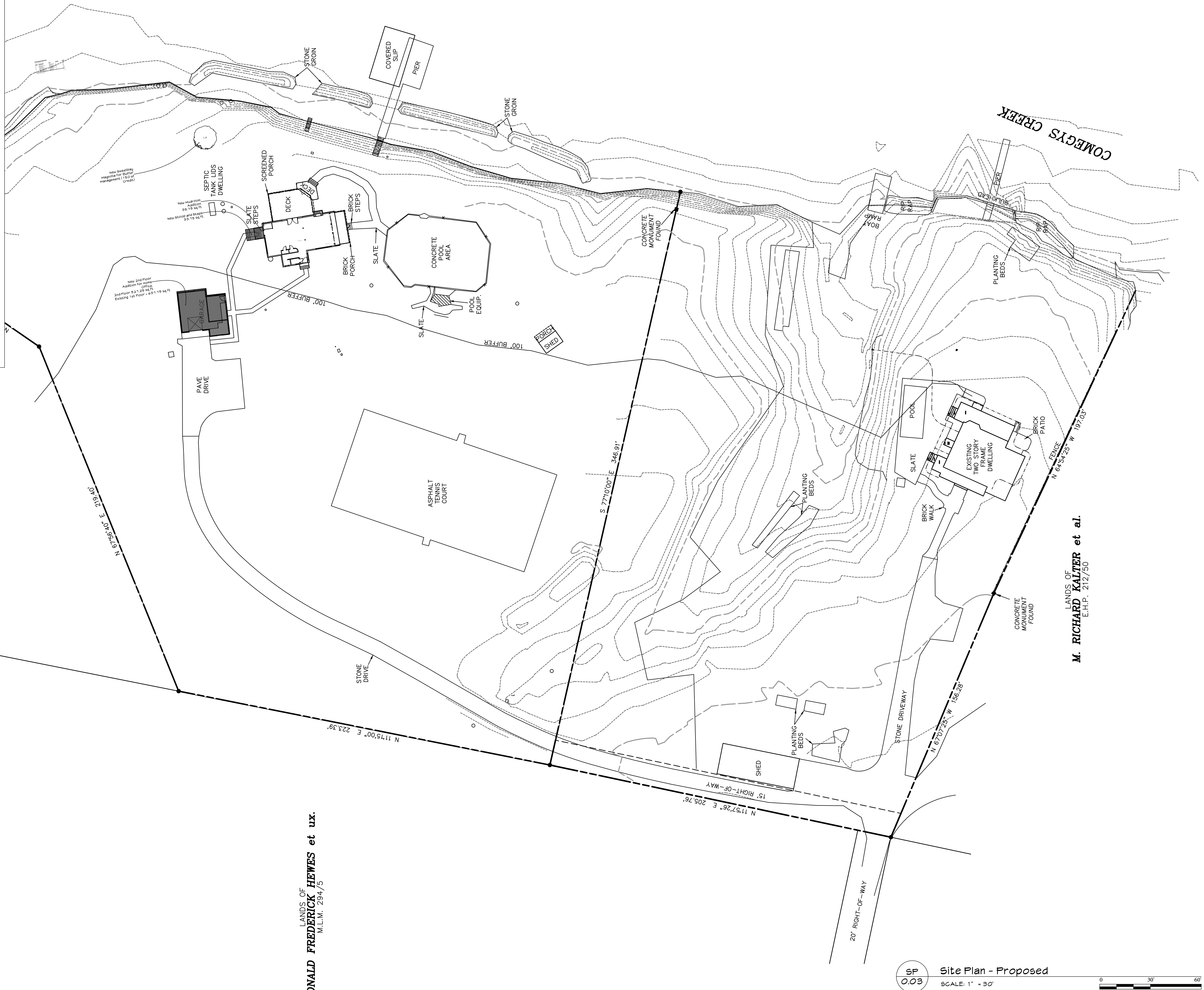
E.K.

Kent County County Health Department
125 South Lynchburg Street
Chestertown, MD 21620
john.beskid@maryland.gov
410 778 1361 Office
410 778 7017 fax
410 778 2142 desk

LANDS OF
CHARLES E. CONKLIN et ux.
M.L.M. 32/122

Total New Lot Coverage for Buffer Management:	27 SQ. FT.
x 3.00 for within the Buffer:	81 SQ. FT.
Total Credits Provided (1 sweetbay Magnolia):	150 SQ. FT.

LANDS OF
DONALD FREDERICK HEWES et ux.
M.L.M. 294/5

[illegible]

A

0.03

1.02b

General Roof Plan Notes

A. Unless otherwise noted, re-roofing of existing roofs shall be directly applied to a plywood deck surface; remove any existing roofing prior. Inspect any existing roofing felt and replace with new as necessary.

B. G.C. to provide samples of roofing material and color selection for owner approval prior to ordering of materials.

C. All bottom and side edges of roof planes are to receive 2'-0" min. cont. strip of ice and water shield. Roof slopes less than 3/ 12 shall receive ice and water shield over the entire roof plane.

D. not used.

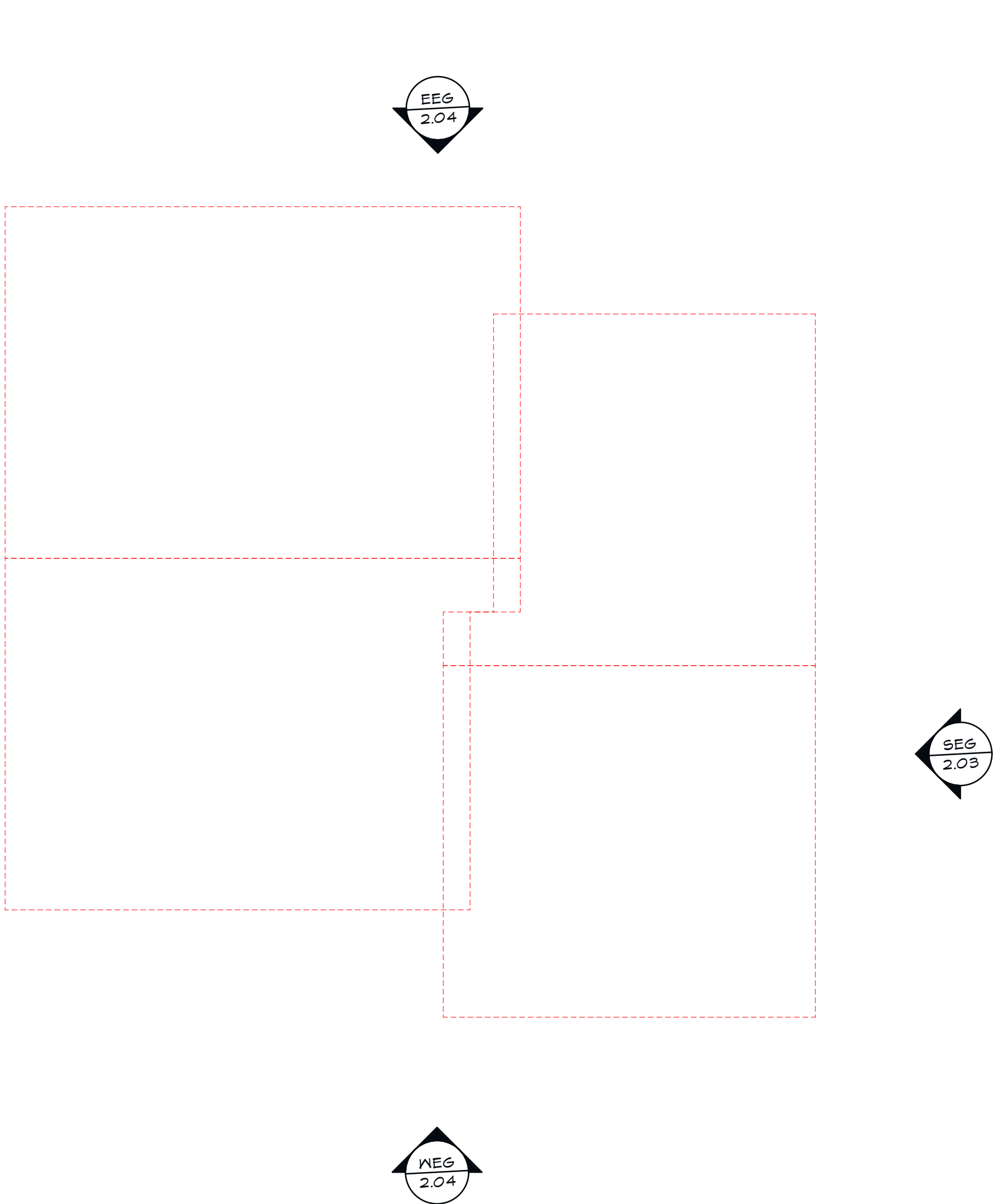
E. Roofing materials per Elevations.

F. Unless otherwise noted, line all valleys with ice and water shield. Valleys to be weaved shingles or exposed copper per owners direction.

G. Discuss with Owner and/or Architect penetration locations for plumbing vents prior to installation.

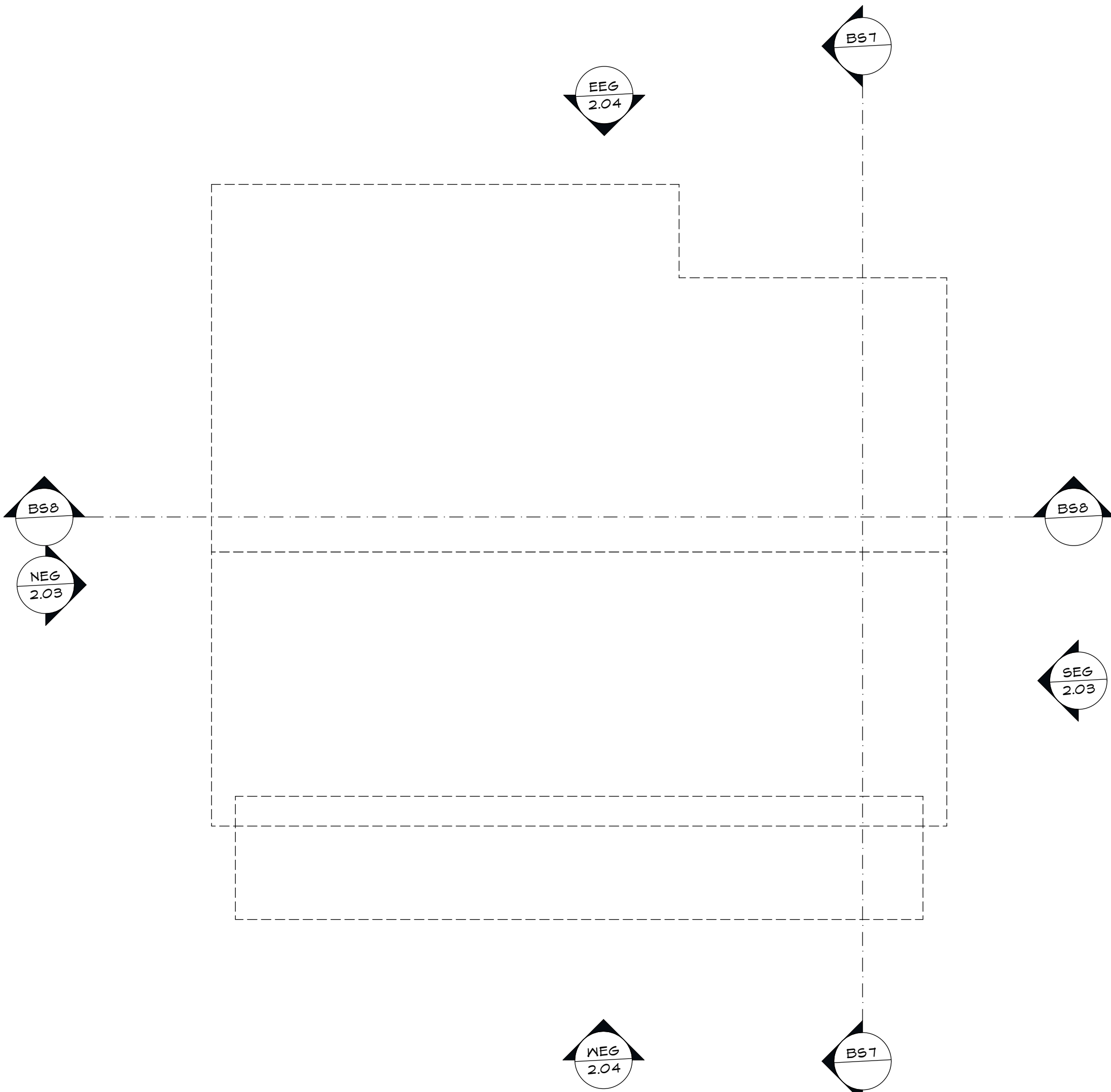
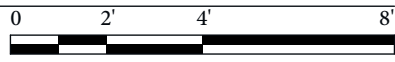
H. U.O.N. all gutters are seamless 5" k-style aluminum connected to 2"x3" alum. rectangular downspouts. Prior to ordering, verify style, material, and color with owner. Downspouts shall be connected to a boot/splashblock that directs water away from the foundation.

I. Install metal drip edge at entire roof perimeter



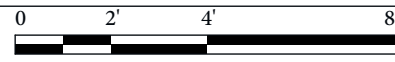
3.
1.03b

Roof - Demo
SCALE: 1/4" = 1'-0"



3.
1.03b

Roof - Proposed
SCALE: 1/4" = 1'-0"



John
Hutchison
Architecture

302 Park Row, Fir 1st
Chestertown, MD 21620
410.449.0466
johnhutcharch@gmail.com
www.johnhutcharch.com

Note: Drawings are not authorized for Permit or Construction unless affixed with a Professional Seal and Signature of the Architect below. Drawings authorized for Construction must also be stamped "Issued for Construction" above the Sheet Title below. Drawings stamped "Preliminary" or "For Permit Only" are not authorized for Construction.

Drawings and Specifications as instruments of service are and shall remain the property of the Architect. They are not to be used on extensions of the project, or other projects, except by agreement in writing and appropriate compensation to the Architect.

The General Contractor is responsible for confirming and correlating dimensions at the job site. The Architect will not be responsible for construction means, methods, techniques, sequences, or procedures, or for safety precautions and programs in connection with the project.
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Project Number: JHA 21031

**Comegys Bight
Renovations and
Additions**

24212 Comegys Bight Lane
Chestertown , MD 21620
Kent County

for
Andrew and Emily Kaiser

REVISIONS

ID	Change Name	Date

Note: 3D Images are shown for reference only and shall not be used for Actual Construction.

Note: Full Size drawings are typically printed on 22x34 or 24x36 paper. If printed on 11x17 or 13x19 paper, it is likely the drawings are printed using a 50% reduction. Please verify scale of all drawings.

**PRELIMINARY
FOR PERMITTING ONLY
NOT FOR CONSTRUCTION**

Variance Submission

Work in Progress

Printed: 7/29/22

Roof Plan- Garage

A

1.03b

General Demolition Notes

A. Remove partitions, walls, floor and roof systems, and other associated construction as indicated on demolition plans.

B. Terminate all electrical lines in walls and ceilings in a safe and secure manner and in accordance with all applicable local, state and national codes.

C. Secure and protect existing main electrical panels during demolition.

D. Protect existing exposed foundation walls from damage.

E. Secure all drains/soil line inlets with plumbing caps and/or covers as required.

F. Securely store all removed lighting and plumbing fixtures, furniture and equipment as per owner's direction.

G. Remove all demolition debris from site in full accordance with all applicable local, state and national codes and regulations, prevent injury to personnel and damage to adjoining property, maintain any existing rights of way.

H. Protect all surfaces indicated to remain (windows, doors, frames, walls etc.) from damage during demolition.

I. Secure all hvac equipment, ductwork, electrical equipment and cabling to remain.

J. Prior to demolition, G.C. to verify all temporary shoring and bracing of all existing construction to remain.

K. For all existing roof structures to remain: demolish existing finish roofing material and install new per proposed roof plan.

L. For all existing exterior walls to remain: demolish existing finish siding material and install new per proposed plans and elevations.

M. On demolition drawings, construction identified with dashed red lines is scheduled for demolition, bring any discrepancies or questions to the attention of the Architect.

Framing General Notes

A. Unless otherwise noted, framing members are #2 hem-fir. Floor joists and rafters as follows:

2nd Floor Joists Master Bedroom Suite: 2x12's @ 16" o.c.

2nd Floor Joists Garage: 9 1/2" x 110 wood I-Joists @ 16" o.c.

Deck Joists: P.T. 2x10's @ 16" o.c.

Typical building rafters: 2x10's @ 16" o.c.

Typical porch rafters: #2 Doug-Fir 2x8's @ 16" o.c.

B. Unless otherwise noted, dimensions are shown to the outside of exterior bearing walls (not to include sheathing) & to the centerline of framing members.

C. Building Rim Joists are LSL, typ.

D. Except where otherwise indicated, framing members shown close to each other are snug together.

E. Provide Simpson or equivalent joist hangers where indicated/as necessary.

F. U.O.N. subfloor is 23/32" Advantech, 48/24 span rating, glued and nailed to joists.

G. U.O.N. roof sheathing to be 1/2" Advantech.

H. U.O.N. Exterior walls are 2x6 studs @ 16" o.c. w/ R-21 batt insulation. Wall sheathing to be 1/2" ZIP sheathing.

I. Where joists bear on perpendicular walls, partitions and beams, provide blocking between joists using same joist type. Provide (2) joists directly below walls or partitions above.

J. Unless otherwise noted, hips and valleys are (1) 1 3/4" x 11 1/4" I/J's with framing anchors both sides @ top bracing.

K. Unless otherwise noted, headers are as follows:

Openings up to 5' in width: (2) 2x10's, 2 jacks/2 kings ea. jamb.

Openings up to 7' in width: (3) 2x10's, 2 jacks/2 kings ea. jamb.

L. G.C. shall use standard steel connectors for PSL connections as per Trus-Joist specifications. Provide connection shop drawings to architect prior to installation.

M. Prior to start of framing, general contractor shall verify all framing requirements for mechanical equipment, mechanical chases, plenums, cabinets and other construction elements within this building not specifically detailed in these construction documents.

Exterior General Notes

A. The following openings in the building shall be caulked or otherwise sealed to limit infiltration:

1. Exterior joints around the window and door frames.
2. Openings for electrical and plumbing.
3. All other penetrations of the building envelope.

B. U.O.N. new windows and exterior patio doors shall be Andersen 400 series with SDL muntin patterns per elevations. Color: Black exterior, Black interior. Operation per Exterior Elevations. Interior hardware to be Standard in Black finish - coordinate/verify selection with owner. U.O.N. glazing to be LowE. <https://www.andersenwindows.com/windows-and-doors/series/400-series/#low-e>

C. Coord. window head heights with Exterior Elevations.

D. U.O.N. replacement and new siding to be as follows:

Shakes: James Hardie straight edge panel, beveled corners.

Coord. siding colors with owner.

E. U.O.N. exterior trim is Boral 5/4 TruExterior, size per Exterior Elevations and Wall Sections. <https://truexterior.com/product/trim/>

F. Decking and Porch Materials:

Exposed "Drip-Through" Finish Decking: TimberTech Pro Reserve, color per owner. <https://www.timbertech.com/products/decking/>
Note: At screen porch, install screen below finish decking.

Screen System: Screentight FastTrack Screening system mounted to field installed posts. <https://www.screentight.com/screening-systems/fast-track/>

Porch ceilings: Boral Tru Exterior T&G edge and center bead, 4" exp. <https://truexterior.com/product/beadboard/>

G. Soffits are James Hardie non-vented, smooth. <https://www.jameshardie.com/products/hardiesoffit-panels>

H. Roof finishes are as follows:

Porch Roofs: Atas 12" exposure 1" seam field lock metal roofing, or equiv. <https://www.atas.com/products/metal-roofing-systems/standing-seam/1-field-1ok>

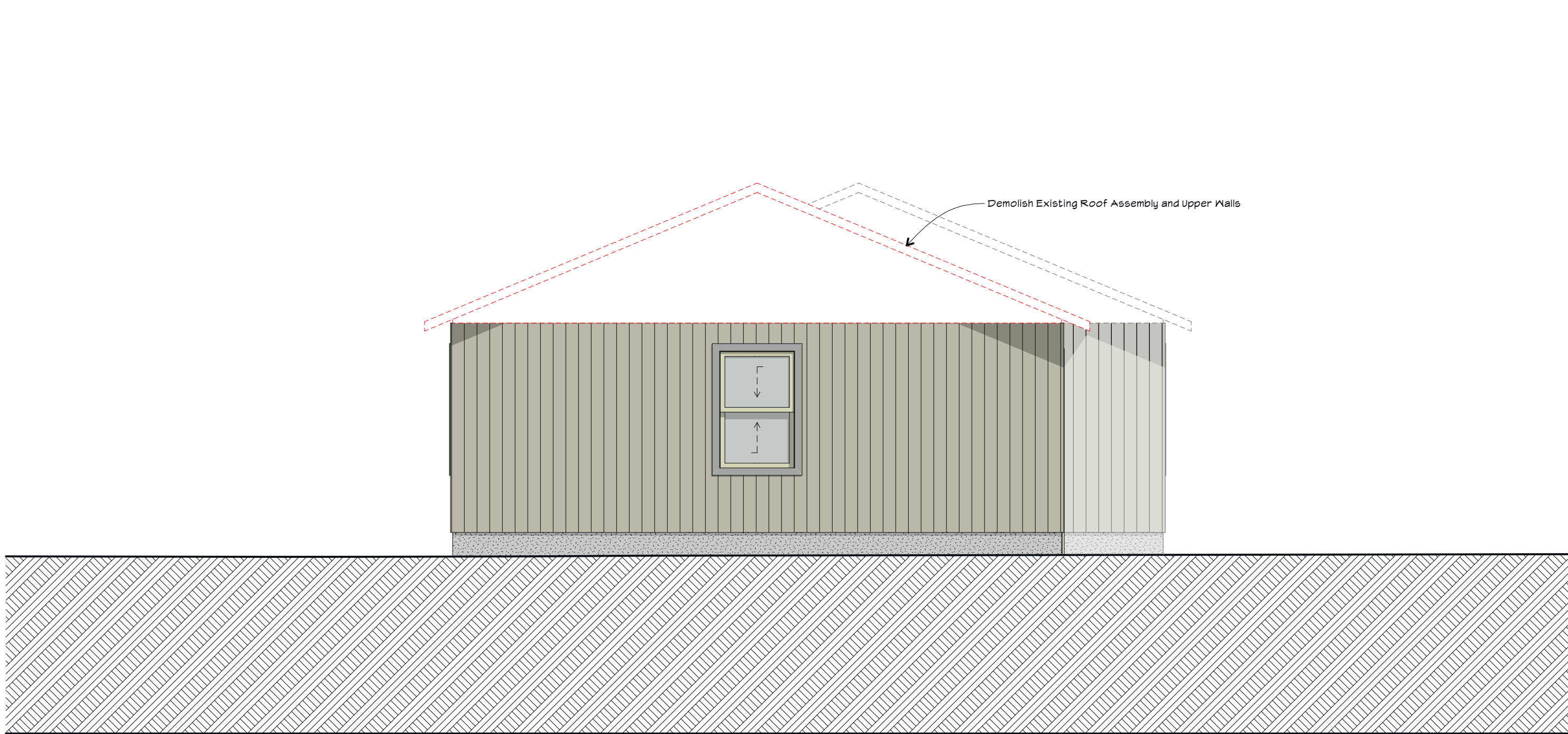
Main Roof: Atas 12" exposure 1" seam field lock metal roofing, or equiv. <https://www.atas.com/products/metal-roofing-systems/standing-seam/1-field-1ok>

Alternate: Provide Deduct Alternate for: Timberline 50 year Architectural Asphalt Shingles or equiv. <https://www.gaf.com/roofing-products/residential-roofing-products/shingles/timberline-architectural/timberline-hdz>

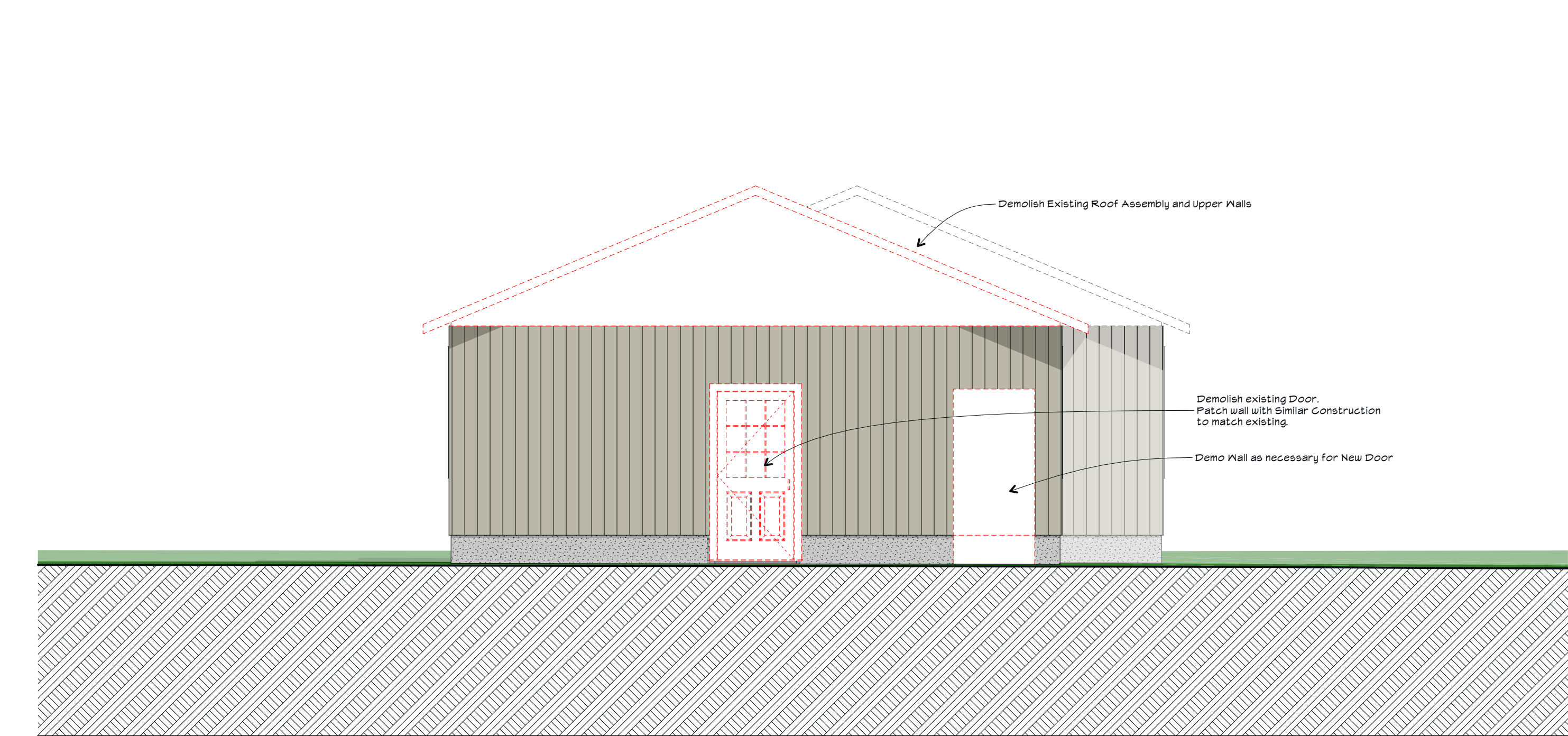
Coord. roof colors with owner.

I. Gutters and downspouts:

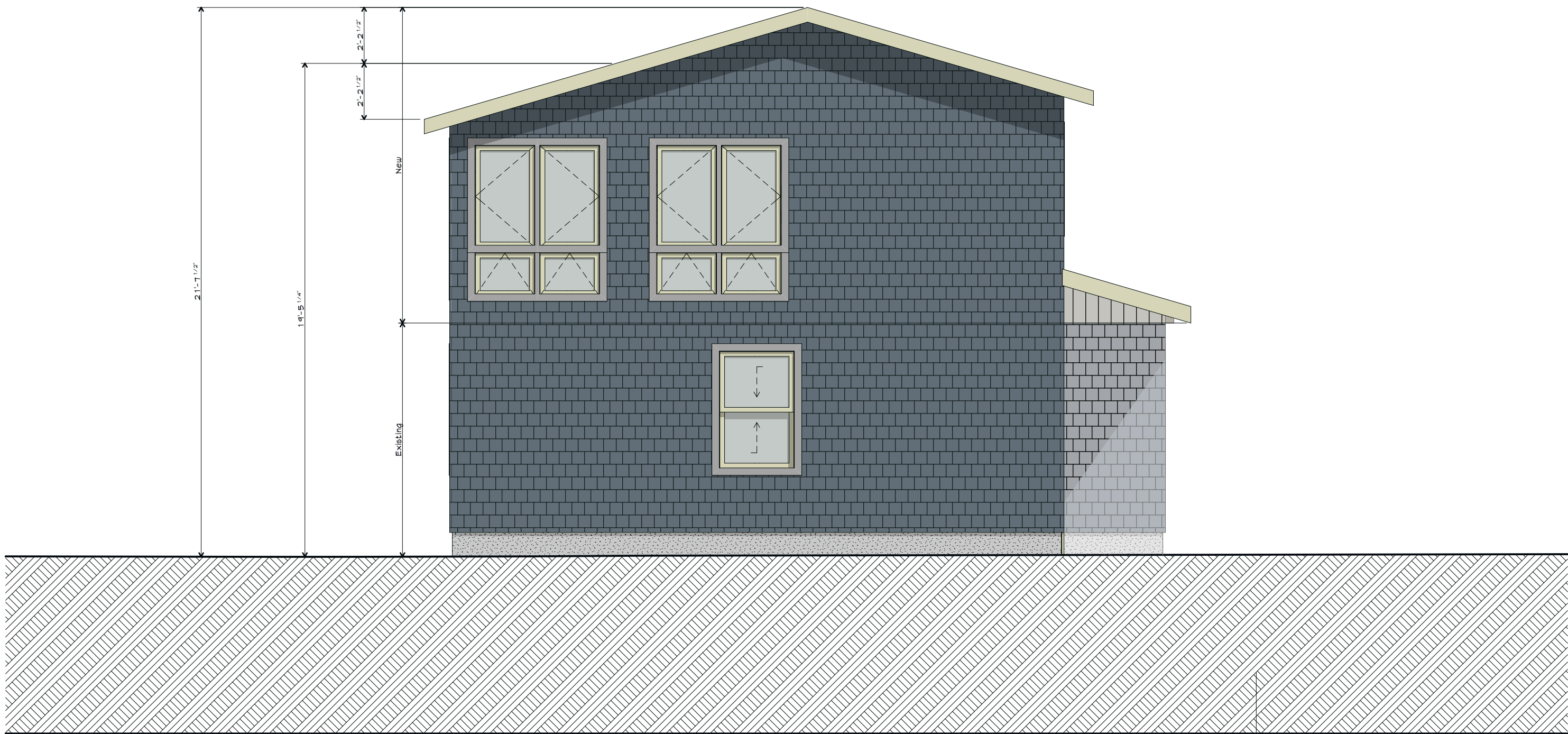
Gutters to be seamless half-round aluminum in white, 6". Install white aluminum rectangular downspouts only at vertical Boral corner trims. Coord. downspout strategy with Architect.



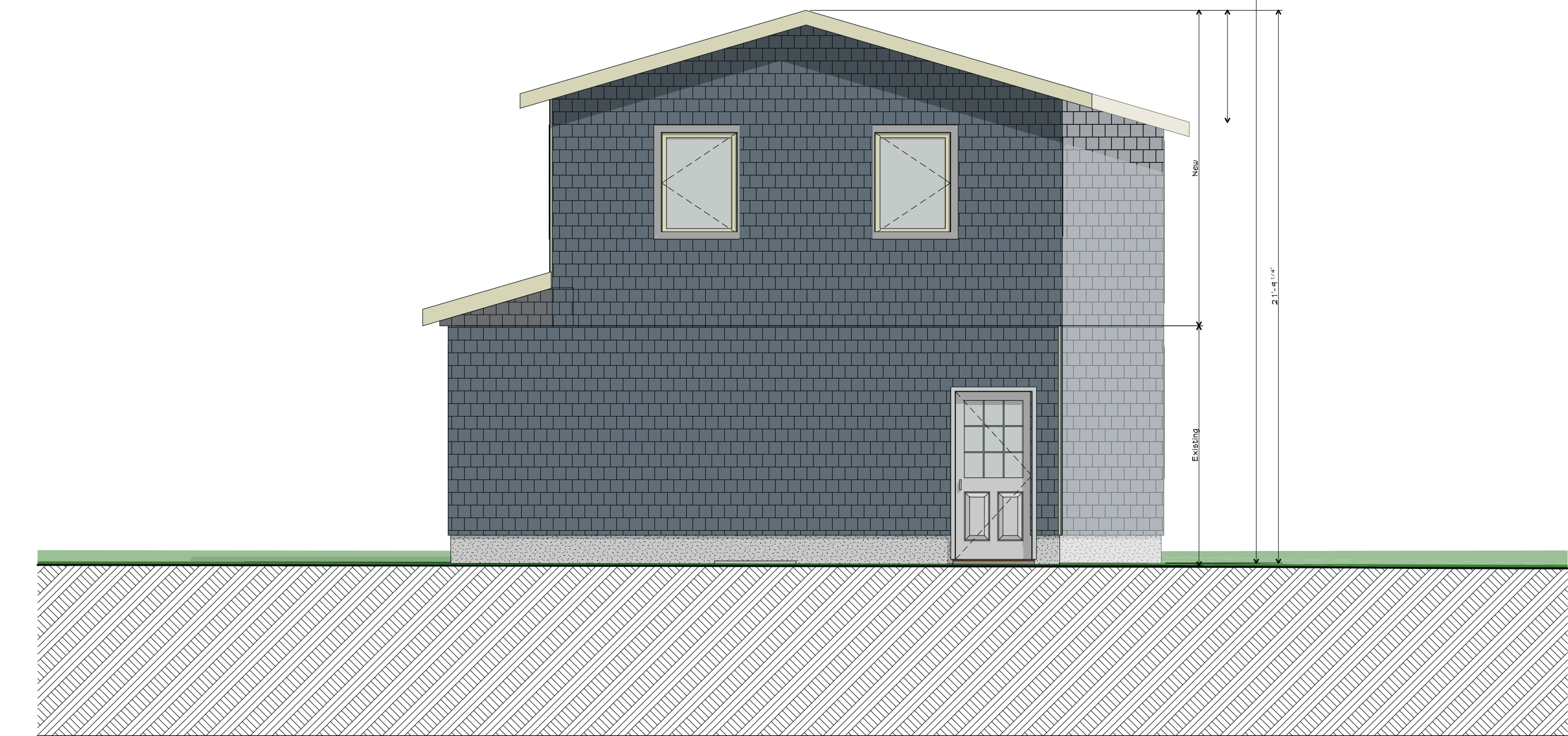
NEG 2.03 North Elevation Garage - Demo
SCALE: 1/4" = 1'-0"



SEG 2.03 South Elevation Garage - Demo
SCALE: 1/4" = 1'-0"



NEG 2.03 North Elevation Garage - Proposed
SCALE: 1/4" = 1'-0"



SEG 2.03 South Elevation Garage - Proposed
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Comegys Bight Renovations and Additions
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Exterior Elevations 1 -
Garage
A

2.03

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M. Prior to start of framing, general contractor shall verify all framing requirements for mechanical equipment, mechanical chases, plenums, cabinets and other construction elements within this building not specifically detailed in these construction documents.

Exterior General Notes

A. The following openings in the building shall be caulked or otherwise sealed to limit infiltration:

1. Exterior joints around the window and door frames.
2. Openings for electrical and plumbing.
3. All other penetrations of the building envelope.

B. U.O.N. new windows and exterior patio doors shall be Andersen 400 series with SDL muntin patterns per elevations. Color: Black exterior, Black interior. Operation per Exterior Elevations. Interior hardware to be Standard in Black finish - coordinate/verify selection with owner. U.O.N. glazing to be Low-E. <https://www.andersenwindows.com/windows-and-doors/series/400-series/#low-e>

C. Coord. window head heights with Exterior Elevations.

D. U.O.N. replacement and new siding to be as follows:

Shakes: James Hardie straight edge panel, beveled corners.

Coord. siding colors with owner.

E. U.O.N. exterior trim is Boral 5/4 TruExterior, size per Exterior Elevations and Wall Sections. <https://truexterior.com/product/trim/>

F. Decking and Porch Materials:

Exposed "Drip-Through" Finish Decking: TimberTech Pro Reserve, color per owner. <https://www.timbertech.com/products/decking/>
Note: At screen porch, install screen below finish decking.

Screen System: Screentight FastTrack Screening system mounted to field installed posts. <https://www.screentight.com/screening-systems/fast-track/>

Porch ceilings: Boral Tru Exterior T&G edge and center bead, 4" exp. <https://truexterior.com/product/beadboard/>

G. Soffits are James Hardie non-vented, smooth. <https://www.jameshardie.com/products/hardiesoffit-panels>

H. Roof finishes are as follows:

Porch Roofs: Atlas 12" exposure 1" seam field lock metal roofing, or equiv. <https://www.atlas.com/products/metal-roofing-systems/standing-seam/1-field-lock>

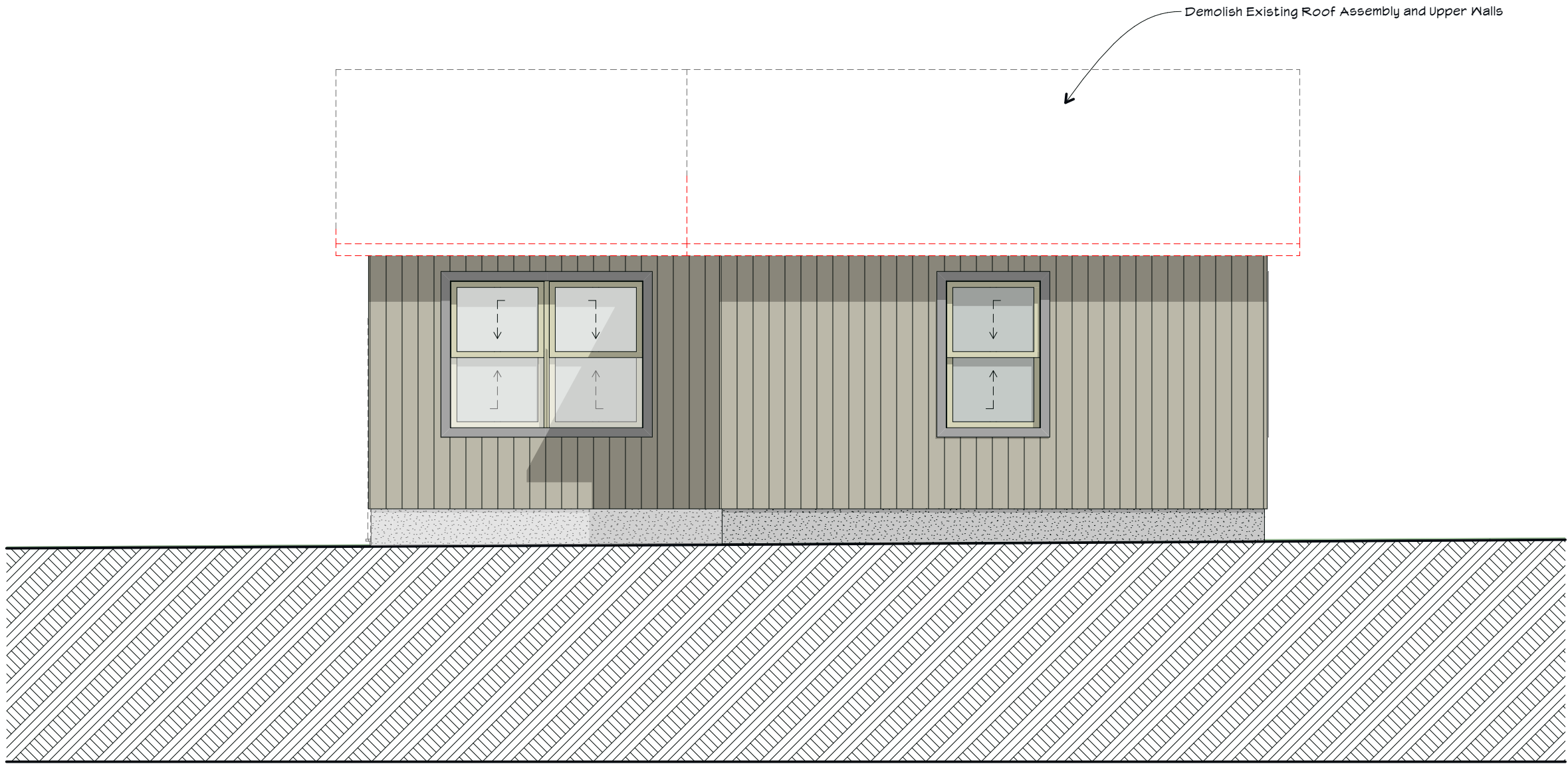
Main Roof: Atlas 12" exposure 1" seam field lock metal roofing, or equiv. <https://www.atlas.com/products/metal-roofing-systems/standing-seam/1-field-lock>

Alternate: Provide Deduct Alternate for: Timberline 50 year Architectural Asphalt Shingles or equiv. <https://www.gaf.com/roofing-products/residential-roofing-products/shingles/timberline-architectural/timberline-hdz>

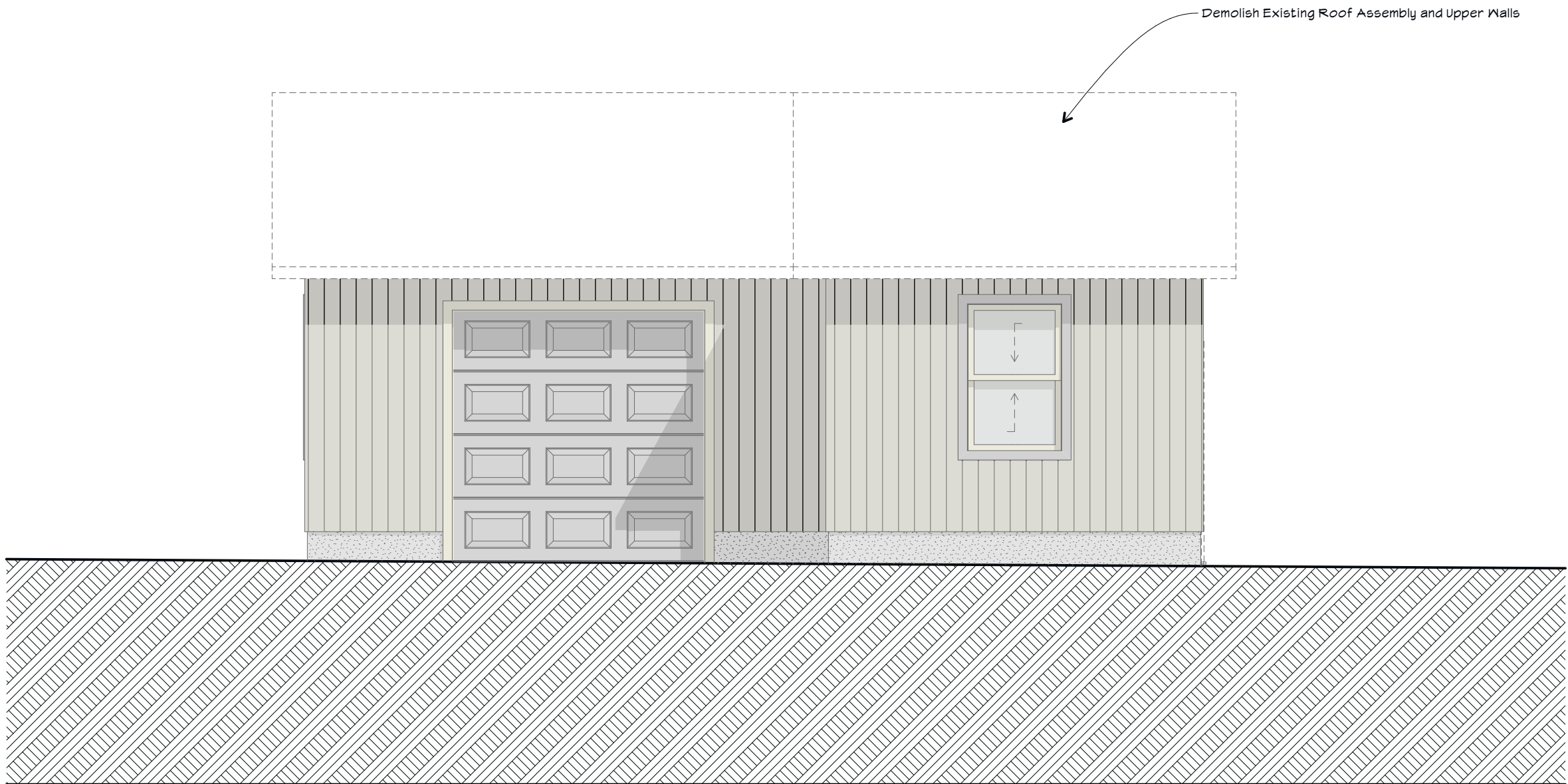
Coord. roof colors with owner.

I. Gutters and downspouts:

Gutters to be seamless half-round aluminum in white, 6". Install white aluminum rectangular downspouts only at vertical Boral corner trims. Coord. downspout strategy with Architect.



EEG 2.04 East Elevation Garage - Demo
SCALE: 1/4" = 1'-0"



WEG 2.04 West Elevation Garage - Demo
SCALE: 1/4" = 1'-0"



EEG 2.04 East Elevation Garage - Proposed
SCALE: 1/4" = 1'-0"



WEG 2.04 West Elevation Garage - Proposed
SCALE: 1/4" = 1'-0"

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The General Contractor is responsible for confirming and correlating dimensions at the job site. The Architect will not be responsible for construction means, methods, techniques, sequences, or procedures, or for safety precautions and programs in connection with the project.
© John Hutchison Architecture

Project Number: JHA 21031

Comegys Bight Renovations and Additions

24212 Comegys Bight Lane
Chestertown, MD 21620
Kent County

for
Andrew and Emily Kaiser

REVISIONS

ID	Change Name	Date

Note: 3D Images are shown for reference only and shall not be used for Actual Construction.

Note: Full Size drawings are typically printed on 22x34 or 24x36 paper. If printed on 11x17 or 13x19 paper, it is likely the drawings are printed using a 50% reduction. Please verify scale of all drawings.

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Variance Submission
Work in Progress
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Exterior Elevations 2 -

Garage

A

2.04

A. Unless otherwise noted, framing members are #2 hem-fir. Floor joists and rafters as follows:

2nd Floor Joists Garage: 9 1/2" x 110
wood I-Joists @ 16" o.c.

Typical building rafters: 2x10's @ 16" o.c.

Unless otherwise noted, dimensions are given to the outside of exterior bearing walls.

C. Building Rim Joists are LSL, typ.

E. Provide Simpson or equivalent joist hangers where indicated/as necessary

G. U.O.N. roof sheathing to be 1/2" Advantech.

1. Where joists bear on perpendicular walls, partitions and beams, provide blocking between joists using same joist type. Provide (2) joists directly below walls or partitions above.

K. Unless otherwise noted, headers are as follows:

K. Unless otherwise noted, headers are as follows:

Openings up to 7' in width: (3) 2x10's, 2
jacks/2 kings ea. jamb.

M. Prior to start of framing: general contractor shall verify all framing requirements for mechanical equipment, mechanical chases, plenums, cabinets and other construction elements within this building not specifically detailed in these construction documents.

A. Remove partitions, walls, floor and roof systems, and other associated construction as indicated on demolition plans.

C. Secure and protect existing main electrical panels during demolition.

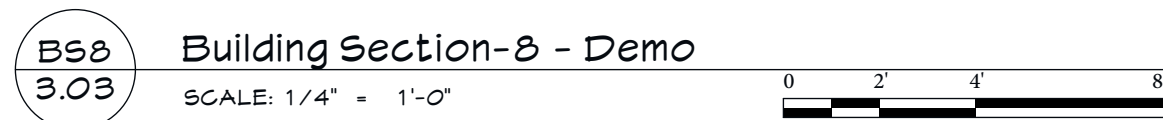
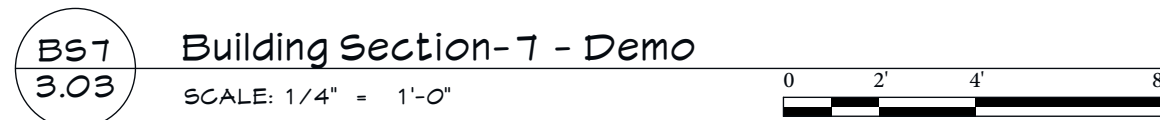
E. Secure all drains/soil line inlets with plumbing caps and/or covers as required.

G. Remove all demolition debris from site in full accordance with all applicable local, state and national codes and regulations, prevent injury to personnel and damage to adjoining property, maintain any existing rights of way.

I. Secure all hvac equipment, ductwork, electrical equipment and cabling to remain

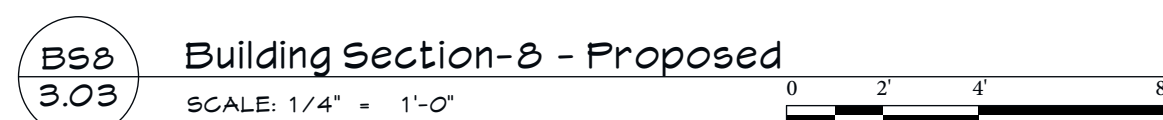
K. For all existing roof structures to remain: demolish existing finish roofing material and install new per proposed roof plan.

M. On demolition drawings, construction identified with dashed red lines is scheduled for demolition. Bring any discrepancies or questions to the attention of the Architect.



B57
3.03

 Building Section-7 - Proposed
 SCALE: 1/4" = 1'-0"



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Project Number: JHA 21031

24212 Comegys Bight Lane
Chestertown , MD 21620
Kent County

for
Andrew and Emily Kaiser

REVISIONS

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Variance Submission

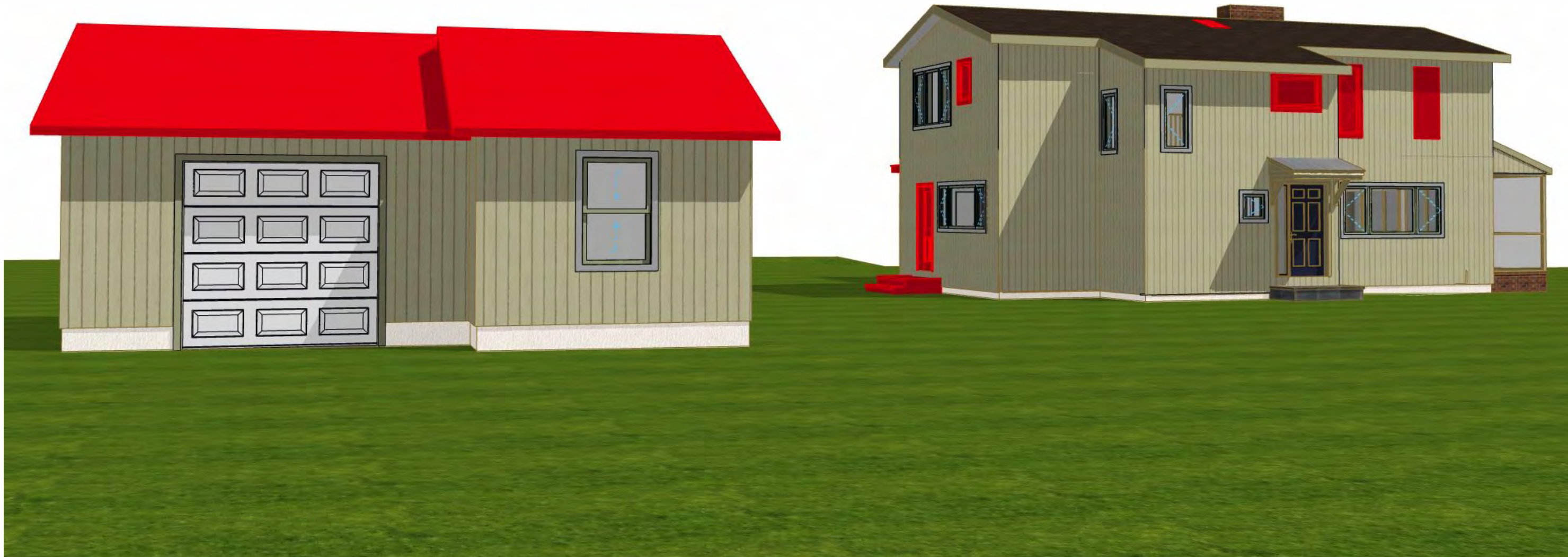
Work in Progress

Building Sections - Garage

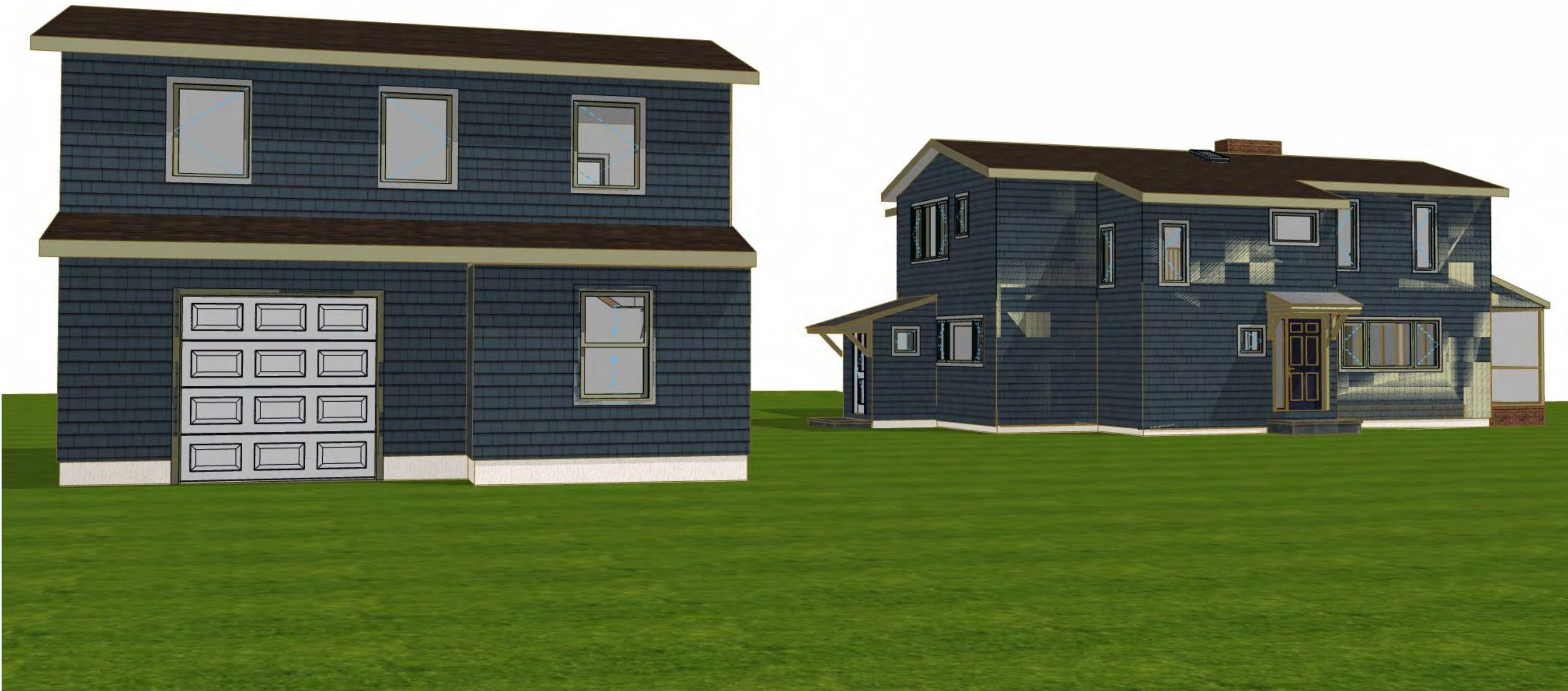
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3.03

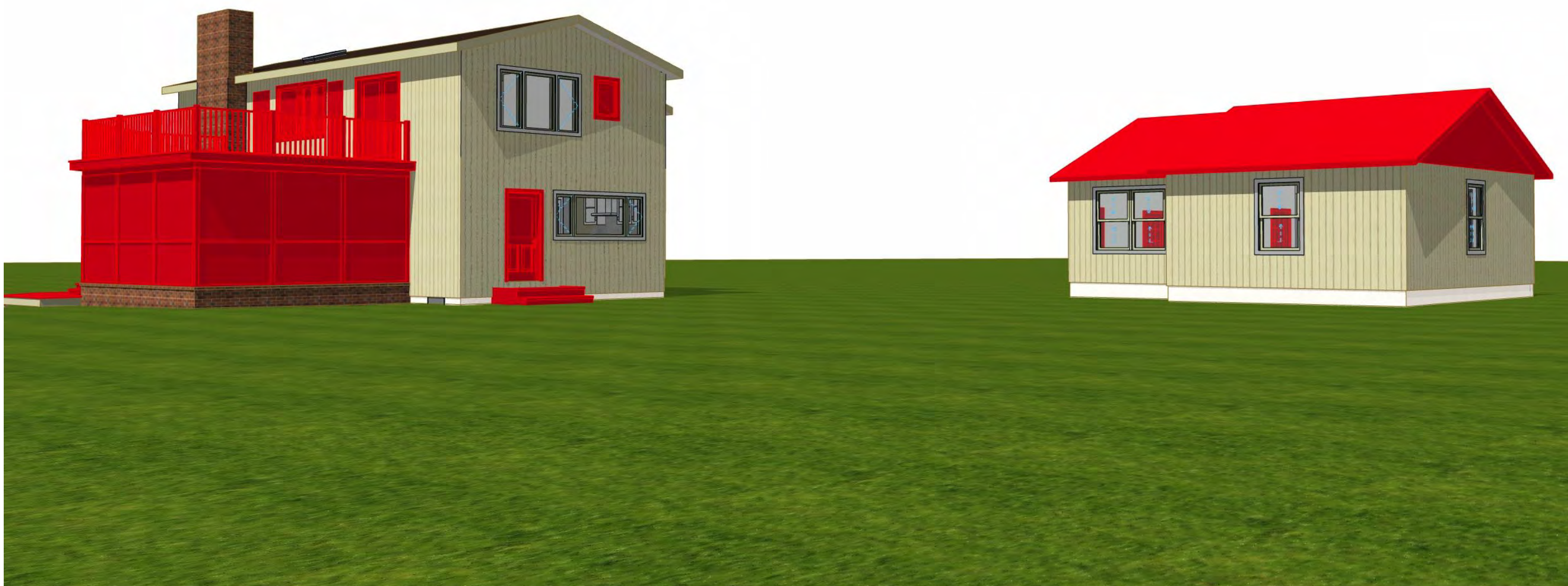
BMcloud: JohnHutcharch - BIMcloud as a Service/Kaiser Comegys Bight Renovations and Additions Arch/Cad Files/Kaiser Comegys Bight Renovations Variance Submission



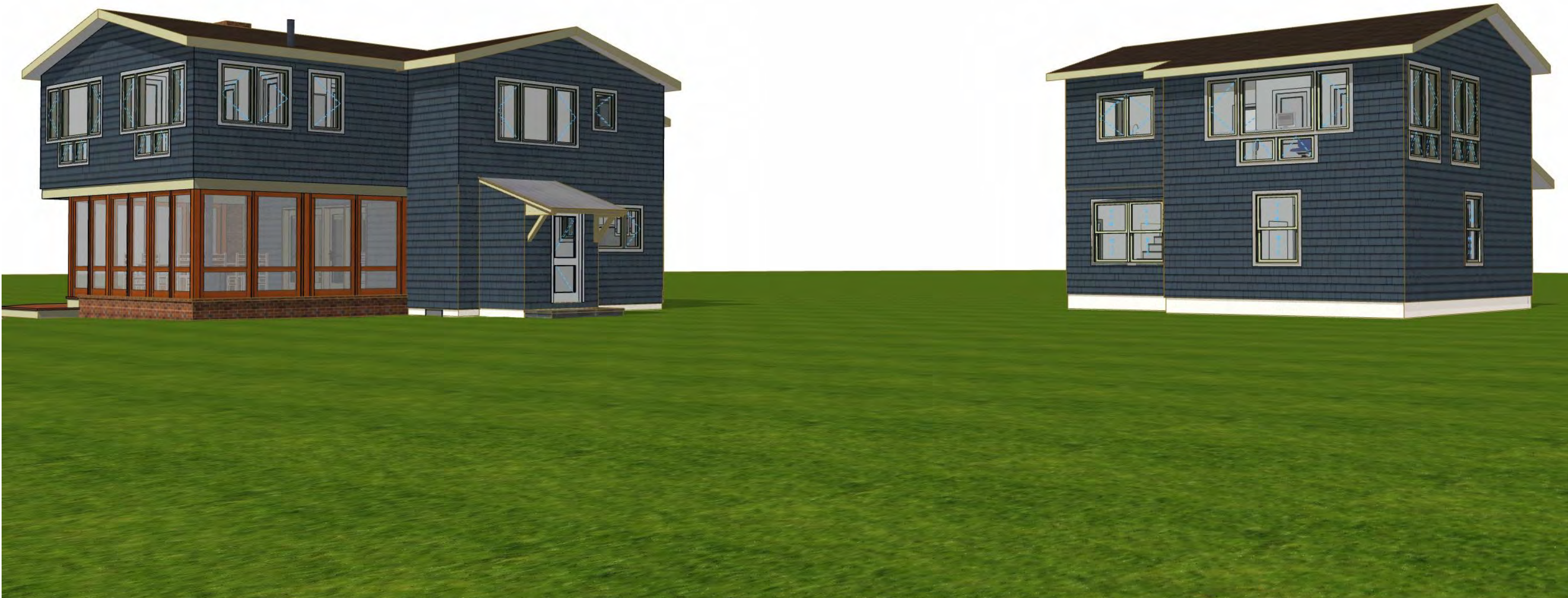
1
9.01 Camera 1 - Demo



1
9.01 Camera 1 - Proposed



2
9.01 Camera 2 - Demo



2
9.01 Camera 2 - Proposed

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Project Number: JHA 21031
**Comegys Bight
Renovations and
Additions**
24212 Comegys Bight Lane
Chestertown, MD 21620
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Printed: 7/29/22
Exterior 3D Views 1

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9.01

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Project Number: JHA 21031

**Comegys Bight
Renovations and
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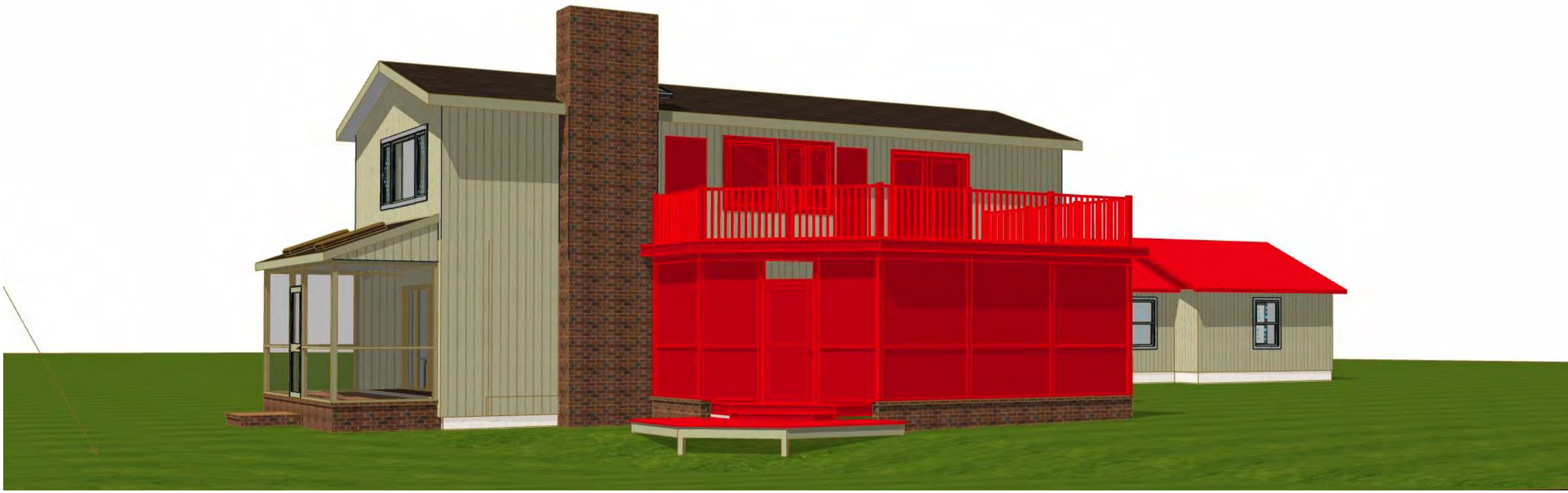
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Exterior 3D Views 2

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9.02



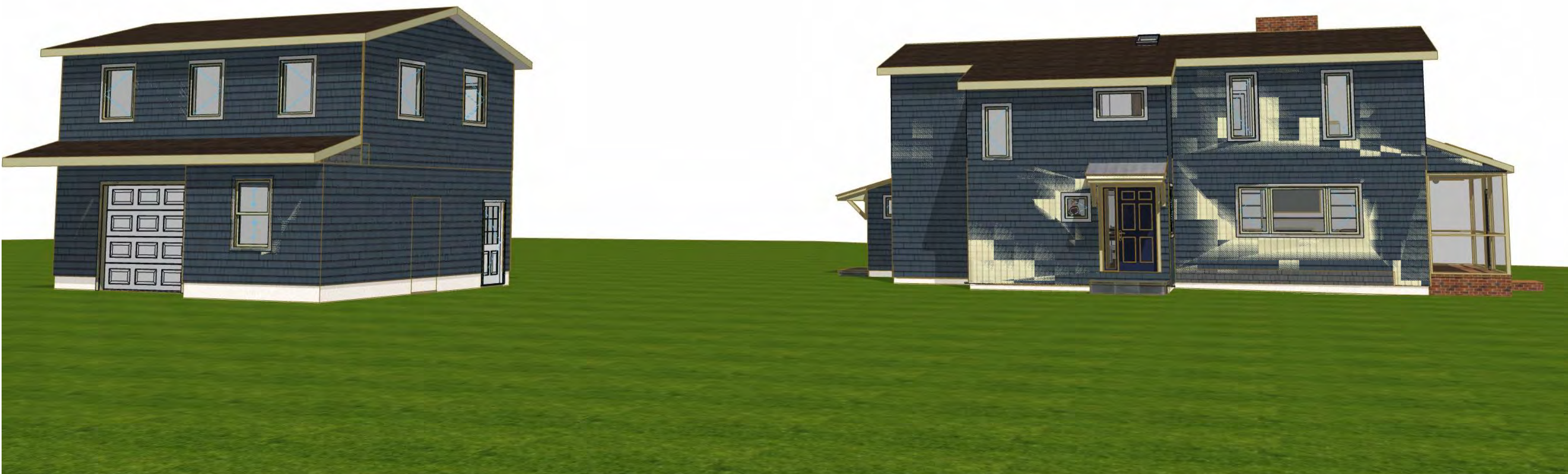
3
9.02 Camera 3 - Demo



3
9.02 Camera 3 - Proposed



4
9.02 Camera 4 - Demo



4
9.02 Camera 4 - Proposed



Kent County Department of Planning, Housing, and Zoning

PRELIMINARY STAFF REPORT

TO: Kent County Planning, Housing, and Zoning
FROM: Mark Carper, Associate Planner
SUBJECT: 22-60, Anthony and Kimberly Stancato
Administrative Special Exception – Accessory structure in the front yard of a waterfront parcel (Inground pool)
District 6, Map 26, Parcel 55
DATE: August 31, 2022

DESCRIPTION OF PROPOSAL

Anthony and Kimberly Stancato are requesting a Special Exception for an accessory structure in the front yard of a waterfront parcel. The applicants are proposing to build a 1,575 square foot inground pool and surrounding patio. The 3.32-acre property is located at 9846 Breezecroft Lane, in the Sixth Election District and is zoned Critical Area Residential (CAR).

RELEVANT ISSUES

I. Permitted and Accessory Uses

- A. *Applicable Law:* Article V, Section 5.3 of the *Kent County Land Use Ordinance* establishes permitted principal uses and structures that may be permitted as special exceptions within the Critical Area Residential District.
- B. *Staff and TAC Comments:* The applicant is proposing to build an inground pool as an accessory structure in the front yard of a waterfront parcel.

II. Special Exception – General Standards

A. *Applicable Law:* Article VII, Section 2 of the *Kent County Land Use Ordinance* establishes the Special Exception standards and requires the Planning Director to make findings on the following where appropriate:

1. The nature of the proposed site, including its size and shape and the proposed size, shape, and arrangement of structures;
2. Traffic Patterns;
3. Nature of surrounding area;
4. Proximity of dwellings, houses of worship, schools, public structures, and other places of public gathering;
5. The impact of the development or project on community facilities and services;
6. Preservation of cultural and historic landmarks, significant natural features and trees;
7. Probable effect of noise, vibration, smoke and particulate matter, toxic matter, odor, fire or explosion hazards, or glare upon surrounding properties;
8. The purpose and intent of this Ordinance as set forth in Article II;
9. Design, environmental, and other standards of this Ordinance as set forth in Article V;
10. The most appropriate use of land and structure;
11. Conservation of property values;
12. The proposed development's impact on water quality;
13. Impact on fish, wildlife and plant habitat;

14. Consistency with the Comprehensive Plan, Land Use Ordinance, and where applicable the Village Master Plan;
15. Consistency with the Critical Area Program; and
16. Compatibility with existing and planned land use as described in the Comprehensive Plan, Land Use Ordinance, and where applicable the Village Master Plan.

B. Staff and TAC Comments

- MDOT SHA has reviewed this application and has no issues or concerns with County approval.
- The Health Department has commented that the pool will not be located in the septic reserve area (SRA) and that any future building permits will require a designated SRA location on the site plan.
- The proposal is compatible with existing land use and will not have adverse impact on traffic patterns or increase noise and nuisance to surrounding properties.
- The site plan includes a lot coverage analysis, and the proposed project will not exceed the allowable 15% of lot coverage within the Critical Area Residential District.
- The site plan includes a Buffer Enhancement Plan, and the proposed plantings will meet the minimum required square footage to offset the increased lot coverage.
- The Comprehensive Plan is neutral on this application. The request is consistent with the Critical Area Law. The proposed development is a reasonable use of the property.

III. Density, Height, Width, Bulk, and Fence Requirements

- A. *Applicable Law:*** Article V, Section 2.5 of the *Kent County Land Use Ordinance* establishes the density, height, width, bulk, and fence requirements for the Critical Area Residential District.

Minimum yard

Front	50 feet
Side	15 feet
Rear	30 feet
Waterfront Minimum	100-foot buffer
Shoreline cliff	1.5 x cliff height + 20 feet

- B. *Staff and TAC Comments:*** Site plans include distances to all property boundaries and are compliant with minimum setback requirements. Locations of the well and septic tank are shown and are distanced from the proposed structure.

STAFF RECOMMENDATION

Staff recommends approval of a Special Exception for the construction of an inground pool with the following conditions:

1. An automatic pool cover or fence will be required for the building permit.
2. That the special exception hereby granted would lapse after one year if no substantial construction in accordance with the plans herein presented were to occur.

ADMINISTRATIVE HEARING APPLICATION

Kent County Department of Planning, Housing, and Zoning

Kent County Government Center
400 High Street • Chestertown, MD 21620
410-778-7423 (phone) • 410-810-2932 (fax)

IN THE MATTER OF THE APPLICATION OF: (Name, Address and Telephone Number of Applicant)

Anthony & Kimberly Stancato
9843 Breezecraft Lane
Chestertown, MD 21620
Email: astancato@comcast.com

For Office Use Only:

Case Number: _____
Date Filed: _____
Filed by: _____
Applicant: _____
Date of Hearing: _____
Parties Notified: _____
Notice in Paper: _____
Property Posted: _____

Please provide the email of the one person who will be responsible for responding to comments. Only this person will be contacted by staff and will be the person responsible for forwarding the comments or requests for additional information to any other interested parties. EMAIL: _____

TO THE DEPARTMENT OF PLANNING, HOUSING AND ZONING: In accordance with Article _____
Section _____ of the Kent County Land Use Ordinance, as amended, request is hereby made for an

Administrative Hearing for:

_____ Variance ☒ Special Exception _____ Determination of Nonconforming Use

DESCRIPTION OF PROPERTY INVOLVED:

Located on: (Name of Road, etc.) Breezecraft Lane

In the _____ Election District of Kent County.

Size of lot or parcel of Land: 3.32 Acres
Map: 26 Parcel: 55 Lot #: _____ Deed Ref: 809/99

List buildings already on property: Single family house (2230 ft²) with
deck (1444 ft²)

Subdivision name and address, if applicable: N/A

PRESENT ZONING OF PROPERTY: _____

DESCRIPTION OF RELIEF REQUESTED: (List here in detail what you wish to do with property that requires the Appeal Hearing.) The Stancato's wish to install an in-ground

POOL (covering an area of 35' x 45' = 1,575 ft²)
located on what is considered the front of their
water front property. See attached Site Plan.

Present owner of property: Anthony & Kimberly Stancato Telephone: (610) 637-5654

If Applicant is not owner, please indicate your interest in this property: N/A

Has property involved ever been subject to a previous application? PERMIT # 22-59 175' STONE

If so, please give Application Number and Date: 4/4/2022

PLEASE FILL IN BELOW, OR ATTACH HERETO, A SKETCH OF THIS PROPERTY.

List all property measurements and dimensions of any buildings already on the property.

Put distances between present buildings or proposed buildings and property lines. (SEE ATTACHED SITE PLAN)

NAMES OF ADJOINING PROPERTY OWNERS:

Owner(s) on the North: FAIRLEE CREEK

Owner(s) on the South: BREEZECROFT LANE

Owner(s) to the East: THOMAS F. THOMAS JR ET UX MLM 66/48

Owner(s) to the West: WILLIAM D. BOLLETINO SR. ET UX

Homeowners Association, name and address, if applicable: N/A

BY SIGNING THIS APPLICATION, I GRANT THE DEPARTMENT OF PLANNING, HOUSING AND ZONING THE RIGHT TO ENTER ONTO THE PROPERTY FOR THE PURPOSE OF VIEWING THE SITE OF THE APPLICATION.

[Signature]
Signature of Owner/Applicant/Agent or Attorney

07/27/2022
Date

Please file this form at 400 High Street, Chestertown, MD 21620 accompanied by \$200.00 filing fee made payable to the County Commissioners of Kent County. If you have any questions, contact the Kent County Department of Planning, Housing and Zoning.

NOTICE: The Department of Planning, Housing and Zoning is not required to make out this application. Application should be filled in by Applicant or its agent. If the Planning Department assists you, they cannot be held responsible for its contents.

Applicants arriving more than 10 minutes after the scheduled hearing will not be heard and will be re-scheduled at the applicant's expense.

Peter H. Bourne, P.E.

227 N. Kent Street
Chestertown, Maryland 21620
peterhbournepe@gmail.com
(410) 490-1838

Mr. Mark Carper
Associate Planner
Kent County Planning & Zoning
Chestertown, Maryland 21620

Re: Stancato - 9843 Breezecroft Lane

Dear Mr. Carper,

Please allow this to serve as a narrative of the criteria in accordance with Article VII, Section 2, 1 to 16 that should enable the granting of the administrative special exception for the Stancato Pool in their front (waterfront) yard at 9843 Breezecroft Lane:

1. The Stancato Property consists of 3.32 acres of waterfront property. The Stancato's have a single-family home with a deck that faces the body of water known as Fairlee Creek. The property is forested on its waterfront boundary and recently had a stone revetment installed to preserve the waterfront and eliminate erosion into Fairlee Creek. The Stancato's propose to install a pool that will cover less than 1600 square feet in area. (45' x 35').
2. There will be no effect on traffic patterns due to the proposed pool. The pool will be used by the owners of the house, the Stancato Family.
3. The Stancato Property is bordered by single family waterfront homes to the west and east. To the south across Breezecroft lane is farmland while the north is bordered by Fairlee Creek which flows into the Chesapeake Bay.
4. The proposed pool is 30 feet east of the Bollentino Property line and 211 feet east of the Bollentino dwelling. The proposed pool is Thomas Property to the east 187 feet west of the Thomas Property line and 232 feet west of the Thomas dwelling. The proposed location of the private pool will not be in proximity to any houses of worship, schools, public structures, or other places of public gathering.
5. The construction of the pool will have no impact on community facilities and services
6. The proposed pool will not affect any historic landmarks, significant features and/or trees. The pool will actually trigger the planting of more trees in the Critical Area Buffer which will enhance the buffer as well as the waterfront.
7. There will be no effect on the neighboring properties from the proposed pool as there will be no new or greater amount of noise, vibration, smoke and particulate matter, toxic matter, odor, fire or explosion hazards, or glare

8. In accordance with Article II of the Kent County, MD Land Use Ordinance, the proposed pool is consistent with the Kent County Comprehensive Plan and its purpose to promote the health, safety, general welfare, and prosperity of the present and future inhabitants of Kent County, Maryland.

9. In accordance with Article V, the proposed pool's location and design minimizes adverse impacts to non-tidal or tidal wetlands, estuaries, the Chesapeake Bay, tributary streams, and the natural course and riparian habitat of these streams, habitat protection areas, or other significant habitat identified by the Department of Planning and Zoning.

10. The proposed pool is an appropriate use of the land as a single-family home on waterfront property.

11. The proposed pool will not diminish property values.

12. The proposed pool will also trigger the enhancement of the Critical Area Buffer which will result in improvement of water quality of the area.

13. The proposed pool will also trigger the enhancement of the Critical Area Buffer which will result in a positive effect on fish, wildlife, and plant habitat.

14. The proposed pool is consistent with the Comprehensive Plan

15. The construction and use of the proposed pool will cause more installation of more plantings and enhancement of the Critical Area and is consistent with the Critical Area Program.

16. The proposed pool is compatible with existing and planned land use as described in the Comprehensive Plan and the Land Use Ordinance.

I respectfully request that this application for Administrative Special Exception be granted.
Thank you,



Peter H. Bourne, P.E.

peterhbournepe@gmail.com

(410) 490-1838

MINOR BUFFER ENHANCEMENT/MANAGEMENT PLAN

Please attach site plan.

Property Owner Anthony Stancato

Address of property 9843 Breezecroft Lane

Election District 6 Map 26 Grid Parcel 55 Lot

Size of property 3.32 Acres

Total area of new lot disturbance: 1575 square feet


Total area of tree/vegetation removal: 0 square feet X 2 = 0 square feet

Understory to be removed (See the Mitigation Requirements on the back of this sheet to calculate replacement requirements).

Canopy trees to be removed (See the Mitigation Requirements on the back of this sheet to calculate replacement requirements).

In accordance with the Critical Area Program Habitat Protection Area requirements, the buffer, if not fully forested or is not fully established in woody or wetland vegetation, shall be established to the extent required in the following table (if the buffer is fully established, an area onsite or offsite must mitigated; a fee in lieu will be considered only if planting options do not exist and the fee has been established at \$1.50/square foot):

Development Category	Extent of buffer establishment required
New development on a vacant lot (prior to 12 April 1988)	Establish the buffer based on total lot coverage outside the buffer
New development on vacant lot (after 12 April 1988)	Fully establish the buffer
New subdivision or new lot	Fully establish the buffer
New lot with an existing dwelling unit	Establish the buffer based on total lot coverage outside the buffer
Conversion of a land use on a parcel or lot to another land use	Fully establish the buffer
→ Addition or accessory structure - POOL	Establish the buffer based on net increase in lot coverage outside the buffer 1575 ft²
Substantial alteration	Establish the buffer based on total lot coverage

Signature  Printed name PETER H. BOURNE, P.E.

Mailing address peterhbournepe@gmail.com

Email address: Daytime phone (410) 490-1535

227 N. Kent St. Chesertown, MD 21620

BUFFER ENHANCEMENT/MANAGEMENT PLAN MITIGATION REQUIREMENTS

In accordance with the applicable activity located within the buffer, the following mitigation ratios apply (measurements based upon canopy calculation or square footage of disturbance):

Activity	Mitigation Ratio	
	Permanent Disturbance	Temporary Disturbance
Septic on a lot created before local program approval if located in existing grass or if clearing is not required	Not applicable	0
Septic system in a forest or developed woodland on a lot created before local program approval of clearing is required	1 :1	Not applicable
Shore erosion control	1:1	1:1
Riparian water access	2:1	1:1
Development or redevelopment of a water-dependent facility	2:1	1:1
Variance	3:1	1:1
Violation	4:1	Not applicable

The following planting credits for the type and size of the vegetation may be calculated as follows:

<http://www.nativeplantcenter.net/>

Vegetation Type	Minimum Size Eligible for Credit	Maximum Credit Allowed (Square Feet)	Maximum Percent of Credit
Canopy tree	2-inch caliper	200	Not applicable
Canopy tree	3/4-inch caliper	100	Not applicable
Understory tree	3/4-inch caliper	75	Not applicable
Large shrub	3 feet high	50	30
Small shrub	18 inches high	25	20
Herbaceous perennial*	1 quart or based on the area covered by plugs or seed mix	2	10
3x Planting Cluster 1*	1 canopy tree; and 3 large shrubs or 6 small shrubs of sizes listed above	300	Not applicable
2x Planting Cluster 2*	2 understory trees; and 3 large shrubs or 6 small shrubs of sizes listed above	350	Not applicable

* These options are available only for buffer establishment and buffer mitigation of less than ½ acre.
100% dead does not require replanting. Area must be stabilized with native vegetation or ground cover.

PROPOSED MAINTENANCE PLAN

Area to be planted within two growing seasons on or before FALL ~~Spring~~ of 2022 per approved plan and maintained thereafter.

Large/small shrubs to be planted (you may also list any herbaceous perennials here):

3 x PLANTING CLUSTER 1 = 3 x 300 = 900 ft²

2 x PLANTING CLUSTER 2 = 2 x 350 = 700 ft²

TOTAL = 1600 ft²

Canopy trees to be planted:



Kent County Department of Planning and Zoning Critical Areas Lot Coverage Checklist

Following is a list of items meant to simplify lot coverage calculations on permits for building in Critical Areas. Any development item must be listed as existing or proposed as restrictions apply to new lot coverage created in a Critical Area. See acreage calculations listed below for lot coverage limits on your parcel.

	Existing Lot Coverage (sq. ft.)	Proposed Lot Coverage (sq. ft.)	Total Lot Coverage (sq. ft.)
New or Existing Single Family Dwelling (including roof overhangs)	2230	—	2230
Decks/porches (without spaces to allow water to pass through freely)	1444	—	1444
Driveway/sidewalks (gravel, dirt, paved)	6370	—	6370
Detached/attached garage	—	—	—
Outbuildings (sheds, gazebos, boat houses)	760	—	760
Swimming pools (including any concrete areas or decking)	—	1575	1575
Tennis courts	—	—	—
Other (barbeque pits, concrete slabs)	—	—	—
Guest or tenant houses	—	—	—
Proposed additions	—	—	—
Totals:	10,804	1575	12,379

0.284 Ac.

Lots Created prior to 1 July 2008

Lot Coverage Limit	Lot Size
* 15%	(36,301 sq. ft. or more)
* 5,445 sq. ft.	(21,781 - 36,300 sq. ft.)
* 31.25%	(8,001 - 21,780 sq. ft.)
* 25%	(8,000 sq. ft. or less)

Lots Created after to 1 July 2008

Lot Coverage Limit: 15%

(8.52 of site)

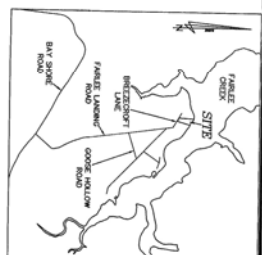
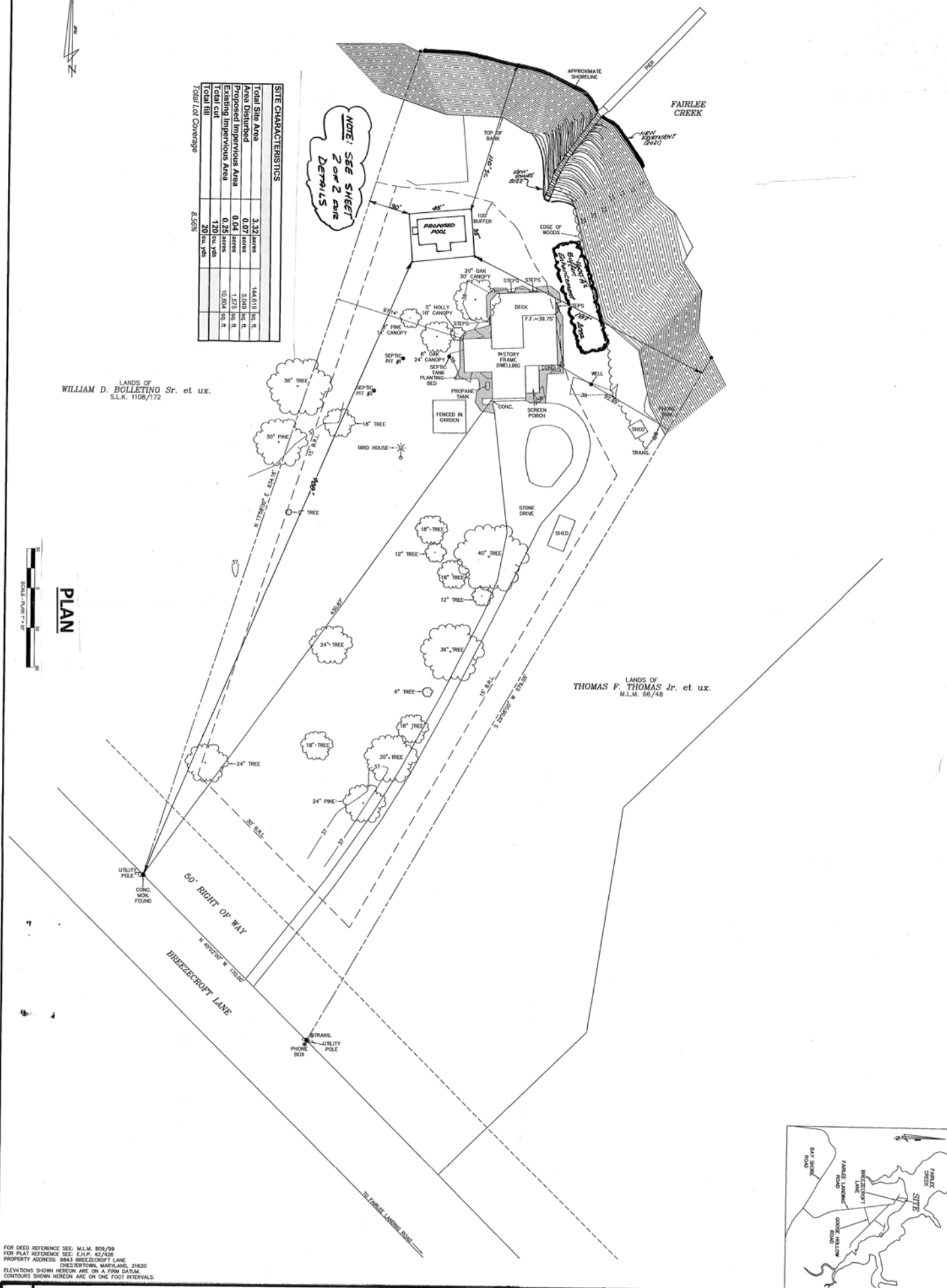
SITE CHARACTERISTICS			
Total Site Area	3.32 acres	144,619 sq. ft.	
Area Disturbed	0.07 acres	3,048 sq. ft.	
Proposed Impervious Area	0.04 acres	1,575 sq. ft.	
Existing Impervious Area	0.25 acres	10,500 sq. ft.	
Total cut	120 cu. yds		
Total fill	20 cu. yds		
Total Lot Coverage	8.56%		

NOTE: SEE SHEET 2 OF 2 FOR DETAILS

LANDS OF
WILLIAM D. BOLLISTINO Sr. et ux.
S.L.K. 1106/172

LANDS OF
THOMAS F. THOMAS Jr. et ux.
M.L.M. 58/48

PLAN



FOR DEED REFERENCE SEE: M.L.M. 809/99
FOR PLAT REFERENCE SEE: E.A.P. 42/426
PROPERTY ADDRESS: 9843 BREEZECROFT LANE
CHESTERTOWN, MARYLAND, 21620
ELEVATIONS SHOWN HEREON ARE ON A FIRM DATUM.
CONTOURS SHOWN HEREON ARE ON ONE FOOT INTERVALS.

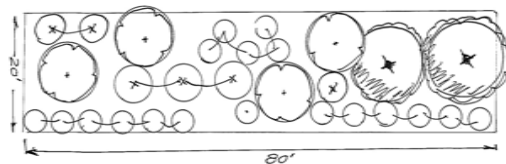
Lands of Anthony, Jr. & Kimberly A. Stancato **STANCATO POOL** **SITE PLAN**

9843 Breezecroft Lane Chestertown, Maryland 21620
8th Election District
Parcel 55 Map 26 Grid 4D Deed 809/99

OWNER
Anthony & Kimberly Stancato
9843 Breezecroft Lane
Chestertown, Maryland 21620
(610) 637-5654

ENGINEER
Peter H. Bourne, P.E.
227 N. Kent Street
Chestertown, Maryland 21620
(410) 490-1838
peterhbournepe@gmail.com



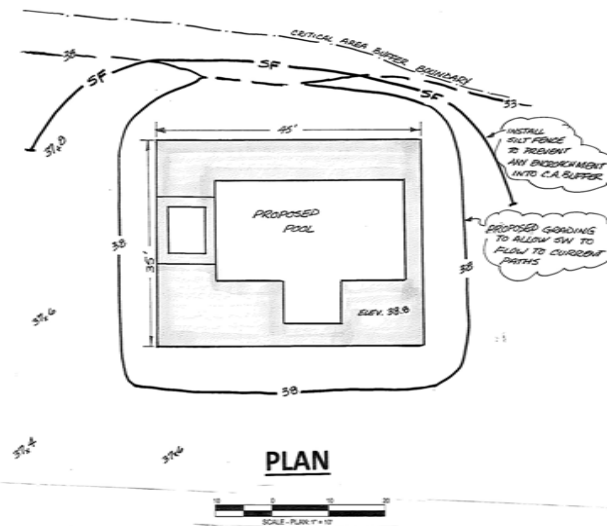
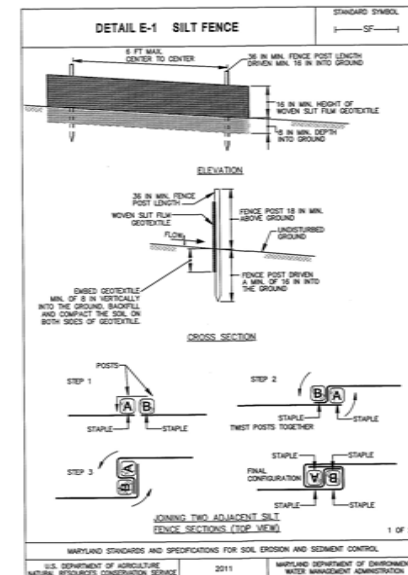
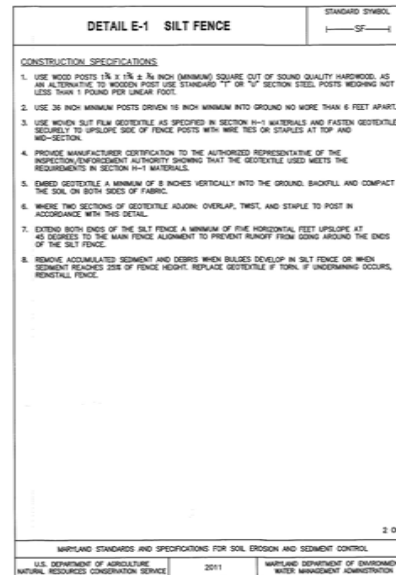


PLAN



PLANTING SCHEDULE

SYMBOL	TYPE	COVERAGE CREDIT (SF)	QTY	AREA (SF)
	PLANTING CLUSTER 1 - 2 Understory trees 5' small shrubs	350	2	700
	PLANTING CLUSTER 2 - 1 Canopy Tree 3 Large shrubs	300	3	900
TOTAL				1600





Kent County Department of Planning, Housing, and Zoning

PRELIMINARY STAFF REPORT

TO: Kent County Planning, Housing, and Zoning
FROM: Mark Carper, Associate Planner
SUBJECT: 22-61, Carol Politi and Robert Wassmann
Administrative Special Exception – Accessory structure in the front yard of a waterfront parcel (Inground pool)
District 5, Map 45, Parcel 49, Lot 1
DATE: August 31, 2022

DESCRIPTION OF PROPOSAL

Carol Politi and Robert Wassmann are requesting a Special Exception for an accessory structure in the front yard of a waterfront parcel. The applicants are proposing to remove an existing pool and decking and then install a replacement pool and associated decking. The 19.95-acre property is located at 6778 Burris Road, in the Fifth Election District and is zoned Resource Conservation District (RCD).

RELEVANT ISSUES

I. Permitted and Accessory Uses

- A. *Applicable Law:* Article V, Section 2.3 of the *Kent County Land Use Ordinance* establishes permitted principal uses and structures that may be permitted as special exceptions within the Resource Conservation District.
- B. *Staff and TAC Comments:* The applicant is proposing to build an inground pool as an accessory structure in the front yard of a waterfront parcel.

II. Special Exception – General Standards

A. *Applicable Law:* Article VII, Section 2 of the *Kent County Land Use Ordinance* establishes the Special Exception standards and requires the Planning Director to make findings on the following where appropriate:

1. The nature of the proposed site, including its size and shape and the proposed size, shape, and arrangement of structures;
2. Traffic Patterns;
3. Nature of surrounding area;
4. Proximity of dwellings, houses of worship, schools, public structures, and other places of public gathering;
5. The impact of the development or project on community facilities and services;
6. Preservation of cultural and historic landmarks, significant natural features and trees;
7. Probable effect of noise, vibration, smoke and particulate matter, toxic matter, odor, fire or explosion hazards, or glare upon surrounding properties;
8. The purpose and intent of this Ordinance as set forth in Article II;
9. Design, environmental, and other standards of this Ordinance as set forth in Article V;
10. The most appropriate use of land and structure;
11. Conservation of property values;
12. The proposed development's impact on water quality;
13. Impact on fish, wildlife and plant habitat;

14. Consistency with the Comprehensive Plan, Land Use Ordinance, and where applicable the Village Master Plan;
15. Consistency with the Critical Area Program; and
16. Compatibility with existing and planned land use as described in the Comprehensive Plan, Land Use Ordinance, and where applicable the Village Master Plan.

B. Staff and TAC Comments

- MDOT SHA and the Department of Public Works have reviewed this application and have no issues or concerns with County approval.
- The Health Department has commented that location of the drain fields on the property must be identified and that it must be verified that the septic reserve area (SRA) is not impacted.
- The proposal is compatible with existing land use and will not have adverse impact on traffic patterns or increase noise and nuisance to surrounding properties.
- The site plan includes a lot coverage analysis, and the proposed project will not exceed the allowable 15% of lot coverage within the Resource Conservation District.
- The site plan includes a Buffer Enhancement Plan, and the proposed plantings will meet the minimum required square footage to offset the increased lot coverage.
- The site plan includes a Critical Area Forest Clearing Plan to mitigate for the removal of vegetation outside of the buffer.
- The Comprehensive Plan is neutral on this application. The request is consistent with the Critical Area Law. The proposed development is a reasonable use of the property.

III. Density, Height, Width, Bulk, and Fence Requirements

- A. *Applicable Law:* Article V, Section 2.5 of the *Kent County Land Use Ordinance* establishes the density, height, width, bulk, and fence requirements for the Resource Conservation District.

Minimum yard

Front	50 feet
Side	15 feet
Rear	30 feet
Shoreline cliff	1.5 x cliff height + 20 feet
Waterfront Minimum	100-foot buffer

- B. *Staff and TAC Comments:* Site plans include distances to all property boundaries and are compliant with minimum setback requirements.

STAFF RECOMMENDATION

Staff recommends approval of a Special Exception for the construction of an inground pool with the following conditions:

1. An automatic pool cover or fence will be required for the building permit.
2. Drain fields on the property are identified and it is verified that the septic reserve area (SRA) is not impacted.
3. That the special exception hereby granted would lapse after one year if no substantial construction in accordance with the plans herein presented were to occur.

ADMINISTRATIVE HEARING APPLICATION

Kent County Department of Planning, Housing and Zoning

Kent County Government Center
400 High Street • Chestertown, MD 21620
410-778-7475 (phone) • 410-810-2932 (fax)

IN THE MATTER OF THE APPLICATION OF: (Name, Address and Telephone Number of Applicant)

Carol Politi & Robert Wassmann

6778 Burris Road

Rock Hall, MD 21661

Email: carol.bethesda@gmail.com

For Office Use Only:

Case Number: _____
Date Filed: _____
Filed by: _____
Applicant: _____
Date of Hearing: _____
Parties Notified: _____
Notice in Paper: _____
Property Posted: _____

TO THE DEPARTMENT OF PLANNING, HOUSING AND ZONING: In accordance with Article VII
Section 7 of the Kent County Land Use Ordinance, as amended, request is hereby made for an
Administrative Hearing for:

 Variance X Special Exception Determination of Nonconforming Use

DESCRIPTION OF PROPERTY INVOLVED:

Located on: (Name of Road, etc.) 6778 Burris Road

In the 5 Election District of Kent County.

Size of lot or parcel of Land: 19.959 Acres
Map: 45 Parcel: 49 Lot #: 1 Deed Ref: 01137/00141

List buildings already on property: Main House, Garage, Barn #1, Barn #2, Shed

Subdivision name and address, if applicable: LITTLE NECK FARM

PRESENT ZONING OF PROPERTY: RCD

DESCRIPTION OF RELIEF REQUESTED: (List here in detail what you wish to do with property that requires
the Appeal Hearing.) Construct a 25' x 50' In-ground Swimming Pool,
Pool Paving, and Retaining Wall in
the Front (Waterside) Yard

Present owner of property: Carol Politi & Robert Wassmann Telephone: 301-332-5374

If Applicant is not owner, please indicate your interest in this property: Landscape Architect

Has property involved ever been subject to a previous application? NO UNKNOWN

If so, please give Application Number and Date: _____

PLEASE FILL IN BELOW, OR ATTACH HERETO, A SKETCH OF THIS PROPERTY.
List all property measurements and dimensions of any buildings already on the property.

Put distances between present buildings or proposed buildings and property lines.

NAMES OF ADJOINING PROPERTY OWNERS:

Owner(s) on the North: Little Neck Farm Homeowner's Association

Owner(s) on the South: Little Neck Farm Homeowner's Association

Owner(s) to the East: County Commissioners of Kent County and
David May & Beth Andrews (20645 Jamieson Road)

Owner(s) to the West: _____

Homeowners Association, name and address, if applicable: LITTLE NECK FARM
HOMEOWNER'S ASSOCIATION (Drawings submitted to them)

BY SIGNING THIS APPLICATION I GRANT THE DEPARTMENT OF PLANNING, HOUSING AND ZONING THE RIGHT TO ENTER ONTO THE PROPERTY FOR THE PURPOSE OF VIEWING THE SITE OF THE APPLICATION.

D. Mike Barnard

Signature of Owner/Applicant/Agent or Attorney

7.27.22

Date

Please file this form at 400 High Street, Chestertown, MD 21620 accompanied by **\$200.00** filing fee made payable to the Department of Planning, Housing & Zoning. If you have any questions, contact the Kent County Department of Planning, Housing and Zoning.

NOTICE: The Department of Planning, Housing and Zoning is not required to make out this application. Application should be filled in by Applicant or its agent. If the Planning Office assists you, they cannot be held responsible for its contents.

Applicants arriving more than 10 minutes after the scheduled hearing will not be heard and will be re-scheduled at the applicant's expense.



Politi-Wassmann Residence

6778 Burris Rd.
Rock Hall, MD 21661

NARRATIVE

Kent County Administrative Special Exception Hearing
September 8, 2022

Per Article VII, Section 2, of the Kent County Land Use Ordinance we offer the following descriptive narrative of the project:

The homeowners are seeking a permit to demolish an existing 20' x 38' vinyl pool in the 'Front' yard and replace that with a new 25'x50' concrete pool also in the 'Front' yard. The property measures 19.9 acres in size, with the new pool slightly closer to the shoreline and rotated 90° in relation to the existing pool. The proposed pool will be 337' from the nearest tidal waters, 332' to the nearest side lot line and 316' to the nearest rear lot line.

1. The proposed size and design of the *proposed swimming pool* is compatible with the current lot size and configuration.
2. Neighborhood traffic patterns will not be impacted at all by the *proposed swimming pool*.
3. The surrounding area is residential neighborhood and tidewater landscape which will not be negatively impacted by the *proposed swimming pool*.
4. The *proposed swimming pool* will not be visible from any adjacent dwellings and there are no nearby houses of worship, schools, or public structures
5. The impact of the *proposed swimming pool* will have no impact to community facilities and services
6. The construction of the *proposed swimming pool* will not negatively impact any cultural or historic landmarks or significant natural features
7. The presence and use of the *proposed swimming pool* will not produce any noise, vibration, smoke, particulate matter, toxic matter, odor, fire, or explosions
8. The construction of this *proposed swimming pool* is in keeping with the intent of The Kent County Land Use Ordinance as set forth in Article II.
9. The design of this *proposed swimming pool* is in keeping with the intent of The Kent County Land Use Ordinance as set forth in Article V.
10. A *proposed swimming pool* in the location proposed in the 'Front' yard is an appropriate use of the land in this location
11. It is expected that a *proposed swimming pool* in this location will enhance property values in the area
12. The *proposed swimming pool* will not impact water quality
13. The *proposed swimming pool* will not adversely impact fish, wildlife, or plant habitat
14. A proposed swimming pool in this location is consistent with the Comprehensive Plan and Land Use Ordinance
15. The *proposed swimming pool* is consistent and in compliance with the Critical Area Program
16. The *proposed swimming pool* is compatible with existing and planned use for this area as described in the Comprehensive Plan and Land Use Ordinance.

POLITI-
WASSMANN
RESIDENCE

SPECIAL EXCEPTION PERMIT SET

JULY 27, 2022

6778 Burris Road
Rock Hall, MD 21620

Map 45 Grid 3e Parcel 49

	TITLE SHEET
L0.1	EXISTING CONDITIONS / DEMOLITION / CAFC
L1.0	PROPOSED SITE PLAN / SEC
L1.1	BUFFER MANAGEMENT PLAN
L2.0	POOL DETAILS
L2.1	SITE DETAILS

LEGEND

•

Ex. Tree to remain

Ex. Tree to be removed

Proposed Tree

- - - - -SF- - - - -

LOD + Silt Fence (SF)

9/10
L2.0

Protection Fence (PF)

Limit of Disturbance (LOD)

LOD Area

Stabilized Construction Entrance

12
L2.1

Sleeve

PVC Drainline

Property Line

— — — — —25— — — — —

Existing 1' Contour

Existing 6" Contour

Existing Spot Elevation

× 27.5

Proposed 1' Contour

Proposed 6" Contour

Proposed Spot Elevation

+ 27.5

- - - - -T- - - - -

Telephone

Water

Electric

Propane

Sewer

The site plan illustrates the proposed construction for the Politi-Wassmann Residence. The property is bounded by Swan Creek Road to the north and south, and Burris Road to the east. To the west is Tavern Creek, which contains a large area of Tidal Wetland. A 100-foot buffer zone is indicated by a red dashed line between the wetland and the proposed building. The proposed building footprint is shown with dimensions: 418'-2" wide and 315'-7" deep. A well (159'-7" diameter) and a septic system (105'-7" diameter) are located near the building. The plan also shows existing trees (solid black dots), trees to be removed (dashed red circles), and proposed trees (solid black circles). Various boundary lines are shown: LOD + Silt Fence (SF), Protection Fence (PF), Limit of Disturbance (LOD), LOD Area, Stabilized Construction Entrance, Sleeve, PVC Drainline, and Property Line. Contour lines for existing and proposed 1' and 6" elevations are shown, along with spot elevations. Utility lines for Telephone, Water, Electric, Propane, and Sewer are also indicated.

SOUTH FORK

LANDSCAPE ARCHITECTURE INC.

10810 CLIFF ROAD
CHESTERTOWN, MD 21620
410 778 1098
www.southforkstudio.com

NOT FOR CONSTRUCTION

REVISIONS

ISSUED FOR:

☐ Client Review

☐ Bid

☒ Permit

☐ Construction

☐ Revision

☐ Coordination

These drawings and specifications and the ideas represented thereby are and shall remain the property of the Landscape Architect. No part thereof shall be copied or used in connection with any work or project or by any other person for any purpose other than for the specific project for which they have been prepared and developed without the written consent of the Landscape Architect.

Politi-Wassmann Residence

6778 Burris Road
Rock Hall, MD 21661

N

W

E

S

Contractors to Verify Dimensions on Site
Do Not Scale the Drawing

Permit Cover Sheet

Scale : 1"=100'-0"

Drawn by : DMB

L0.0

1st Issue Date

07-27-22

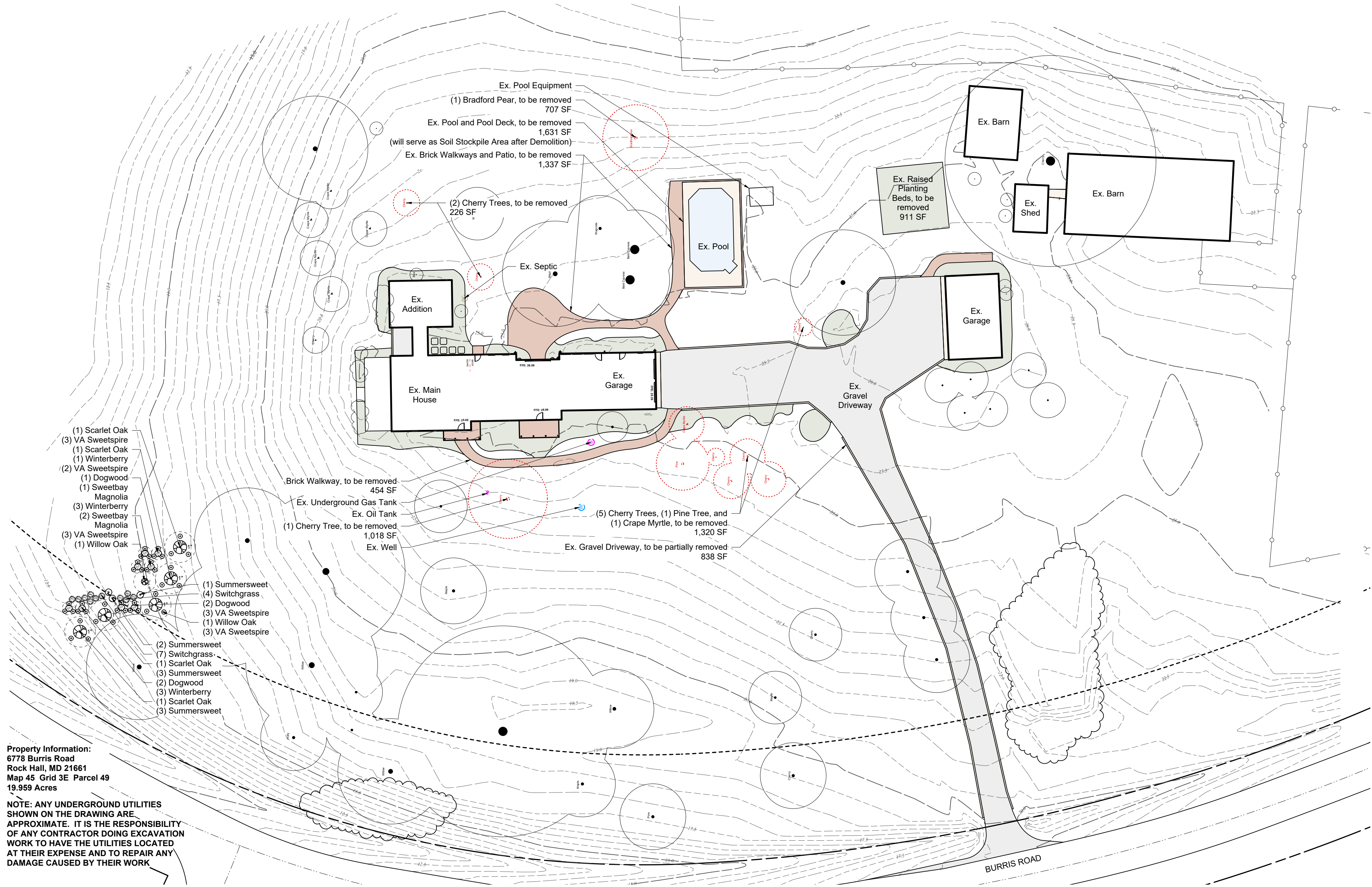
Pre-development Lot Coverage - Politi-Wassmann Residence	
Total Land Area (SF)	869,414 SF
Zoning Classifications	RCD
Allowed Lot Coverage (15%)	130,412 SF
Area Description	
Ex. Main House, to remain	4,484 SF
Ex. Garage, to remain	927 SF
Ex. Barns, to remain	3,527 SF
Ex. Shed, to remain	330 SF
Ex. Driveway, to remain	6,519 SF
Ex. Driveway, to be removed	838 SF
Ex. Walkways, to remain	192 SF
Ex. Walkways, to be removed	1,416 SF
Ex. Pool, to be removed	718 SF
Ex. Pool Deck, to be removed	913 SF
Total Lot Coverage	19,863 SF


Critical Area Forest Clearing Calculations			
Total Land Area (SF)			869,414 SF
Removal Calculations			
Live Tree Canopy, to be removed (mitigation per SF)	Outside Buffer		3271 SF
Total Mitigation		TOTAL	3271 SF
Proposed Mitigation Plantings			
Planting Cluster 1 (1-1" cal. tree + 3 shrubs)	5 @ 300 SF per cluster		1500 SF
Planting Cluster 2 (2-1" Undrstry tree + 3 shrubs)	4 @ 350 SF per cluster		1400 SF
2" Canopy Trees	1 @ 200 SF per new tree		200 SF
1 gal. Shrubs (max. 30%)	3 @ 50 SF per shrub		150 SF
1 qt. Peren. (max. 10%)	11 @ 2 SF per plant		22 SF
Total Forest Clearing Mitigation Plantings (SF)			3272 SF
Total 2" Trees			
	1		
Total 1" Canopy Trees			
	5		
Total 1" Understory Trees			
	8		
Total 1 gal. shrubs			
	30		
Total 1 qt. Perennials			
	11		

Critical Area Forest Clearing Mitigation Planting				
Key	Qty	Botanical / Common Names	Size	Root
Canopy Trees				
QP	1	Quercus phellos / Willow Oak	2" cal	B&B
QP	1	Quercus phellos / Willow Oak	1" cal	B&B
QC	4	Quercus coccinea / Scarlet Oak	1" cal	B&B
	6	Total Canopy Trees		
Understory Trees				
CF	5	Cornus florida / Dogwood	1" cal	B&B
MV	3	Magnolia virginiana / Sweetbay Magnolia	1" cal	B&B
	8	Total Understory Trees		
Shrubs				
CA	12	Clethra alnifolia / Summersweet	36" Ht.	cont
WB	7	Ilex verticillata / Winterberry	36" Ht.	cont
IV	11	Itea virginica / Virginia Sweetspire	36" Ht.	cont
	30	Total Shrubs		
Perennials				
PV	11	Panicum virgatum / Switchgrass	1 gal	cont
	11	Total Perennials		

Buffer Management Plan Legend

- 2" Cal. Canopy Tree
- 1" Cal. Canopy Tree
- Planting Cluster Type 1
 - (1) 1" canopy tree
 - (3) 1 gal. shrubs
- Planting Cluster Type 2
 - (2) 1" understory trees
 - (3) 1 gal. shrubs
- 1 gal. Shrubs
- Perennials





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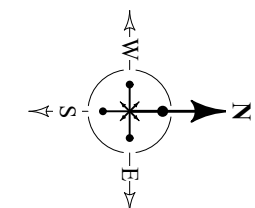
ISSUED FOR:

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<input type="checkbox"/> Bid	<input type="checkbox"/> Coordination
<input checked="" type="checkbox"/> Permit	
<input type="checkbox"/> Construction	

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Politi-Wassmann Residence

6778 Burris Road
Rock Hall, MD 21661



Contractors to Verify Dimensions on Site
Do Not Scale the Drawing

Existing Conditions / Demo / CAFC

Scale : 1"=30'-0"

Drawn by : DMB

L0.1

1st Issue Date	07-27-22
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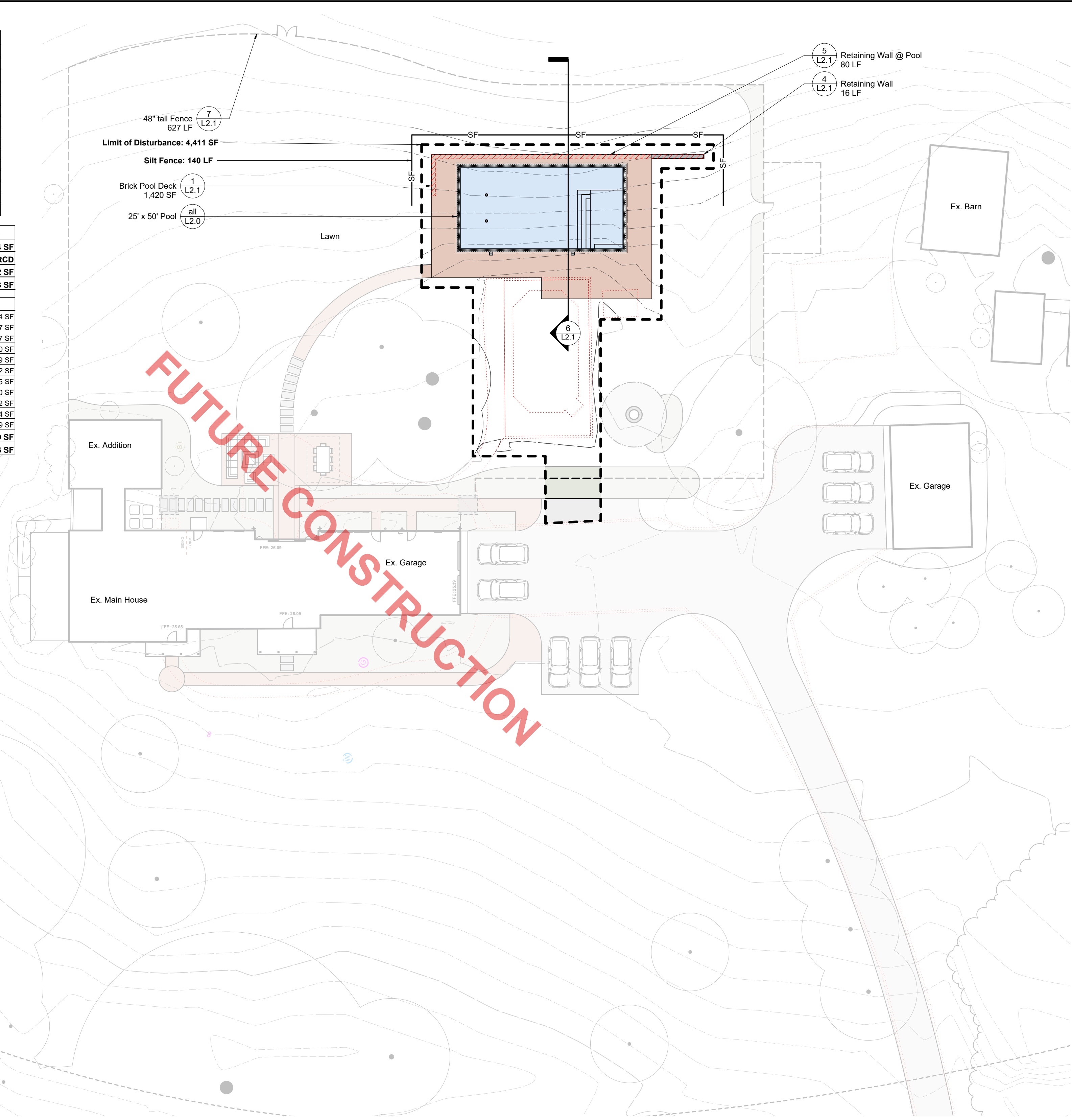
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Ex. Driveway, to be removed	838 SF
Ex. Walkways, to remain	192 SF
Ex. Walkways, to be removed	1,416 SF
Ex. Pool, to be removed	718 SF
Ex. Pool Deck, to be removed	913 SF
Total Lot Coverage	19,863 SF


Post-Development Lot Coverage - Politi-Wassmann Residence	
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Ex. Walkways, to remain	192 SF
Proposed Pool	1,405 SF
Proposed Pool Deck	1,420 SF
Proposed Walkways and Steppers	1,432 SF
Proposed Patios	954 SF
Proposed Driveway	879 SF
Total Lot Coverage	22,069 SF
Lot Coverage Change	+ 2,206 SF

NOTE: Lot coverage calculations include proposed swimming pool AND all future proposed paving areas

Property Information:
6778 Burris Road
Rock Hall, MD 21661
Map 45 Grid 3E Parcel 49
19.959 Acres

NOTE: ANY UNDERGROUND UTILITIES SHOWN ON THE DRAWING ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF ANY CONTRACTOR DOING EXCAVATION WORK TO HAVE THE UTILITIES LOCATED AT THEIR EXPENSE AND TO REPAIR ANY DAMAGE CAUSED BY THEIR WORK





SOUTH FORK STUDIO

LANDSCAPE ARCHITECTURE INC.

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CHESTERTOWN, MD 21620
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REVISIONS	

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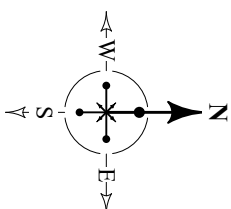
☒ Permit

☐ Construction

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Politi-Wassmann Residence

6778 Burris Road
Rock Hall, MD 21661



Contractors to Verify Dimensions on Site
Do Not Scale the Drawing

Proposed Site Plan / SEC

Scale : 1"=20'-0"

Drawn by : DMB

L1.0

1st Issue Date

07-27-22

Pre-development Lot Coverage - Politi-Wassmann Residence	
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Proposed Pool	1,405 SF
Proposed Pool Deck	1,420 SF
Proposed Walkways and Steppers	1,432 SF
Proposed Patios	954 SF
Proposed Driveway	879 SF
Total Lot Coverage	22,069 SF
Lot Coverage Change	+ 2,206 SF

Critical Area Buffer Establishment Calculations		
Pre-Development Lot Coverage		19,863 SF
Post-Development Lot Coverage		22,069 SF
Lot Coverage Increase to be Mitigated		2,206 SF

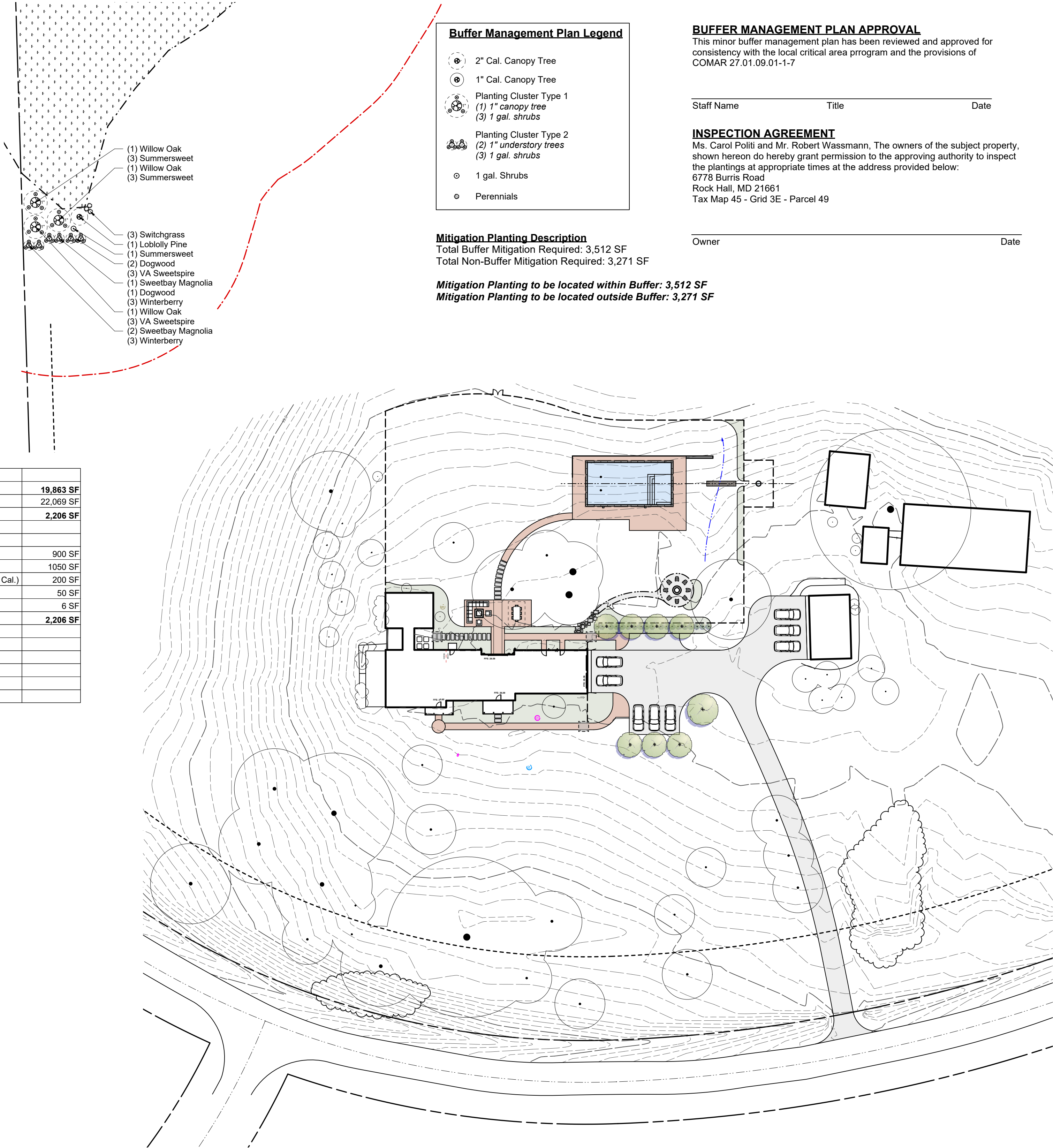
Proposed Mitigation Plantings Inside Buffer		
Planting Cluster 1 (1-1" cal. tree + 3 shrubs)	3 @ 300 SF per cluster	900 SF
Planting Cluster 2 (2-1" Undrstry tree + 3 shrubs)	3 @ 350 SF per cluster	1050 SF
2" Trees	1 @ 200 SF per new tree (2" Cal.)	200 SF
1 gal. Shrubs (max. 30%)	1 @ 50 SF per shrub	50 SF
1 qt. Peren. (max. 10%)	3 @ 2 SF per plant	6 SF
Total Non-Buffer Mitigation Plantings (SF)		2,206 SF

Total 2" Trees	1	
Total 1" Canopy Trees	3	
Total 1" UnderstoryTrees	6	
Total 1 gal. shrubs	19	
Total 1 qt. Perennials	3	

Critical Area Buffer Establishment Planting				
Key	Qty	Botanical / Common Names	Size	Root
Canopy Trees				
PT	1	Pinus taeda / Loblolly Pine	2" cal.	B&B
QP	3	Quercus phellos / Willow Oak	1" cal	B&B
	4	Total Canopy Trees		
Understory Trees				
CF	3	Cornus florida / Dogwood	1" cal	B&B
MV	3	Magnolia virginiana / Sweetbay Magnolia	1" cal	B&B
	6	Total UnderstoryTrees		
Shrubs				
CA	7	Clethra alnifolia / Summersweet	36" Ht.	cont
WB	6	Ilex verticillata / Winterberry	36" Ht.	cont
IV	6	Itea virginica / Virginia Sweetspire	36" Ht.	cont
	19	Total Shrubs		
Perennials				
PV	3	Panicum virgatum / Switchgrass	1 gal	cont

Property Information:
6778 Burris Road
Rock Hall, MD 21661
Map 45 Grid 3E Parcel 49
19.959 Acres

NOTE: ANY UNDERGROUND UTILITIES SHOWN ON THE DRAWING ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF ANY CONTRACTOR DOING EXCAVATION WORK TO HAVE THE UTILITIES LOCATED AT THEIR EXPENSE AND TO REPAIR ANY DAMAGE CAUSED BY THEIR WORK



BUFFER MANAGEMENT PLAN APPROVAL

This minor buffer management plan has been reviewed and approved for consistency with the local critical area program and the provisions of COMAR 27.01.09.01-1-7

Staff Name Title Date

INSPECTION AGREEMENT

Ms. Carol Politi and Mr. Robert Wassmann, The owners of the subject property, shown hereon do hereby grant permission to the approving authority to inspect the plantings at appropriate times at the address provided below:
6778 Burris Road
Rock Hall, MD 21661
Tax Map 45 - Grid 3E - Parcel 49

Owner Date

NOT FOR CONSTRUCTION

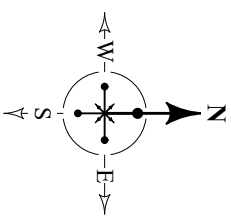
REVISIONS

ISSUED FOR:

- ☐ Client Review ☐ Revision
☐ Bid ☐ Coordination
☒ Permit
☐ Construction

These drawings and specifications and the ideas represented thereby are and shall remain the property of the Landscape Architect. No part thereof shall be copied or used in connection with any work or project or by any other person for any purpose other than for the specific project for which they have been prepared and developed without the written consent of the Landscape Architect.

Politi-Wassmann Residence
6778 Burris Road
Rock Hall, MD 21661



Contractors to Verify Dimensions on Site
Do Not Scale the Drawing

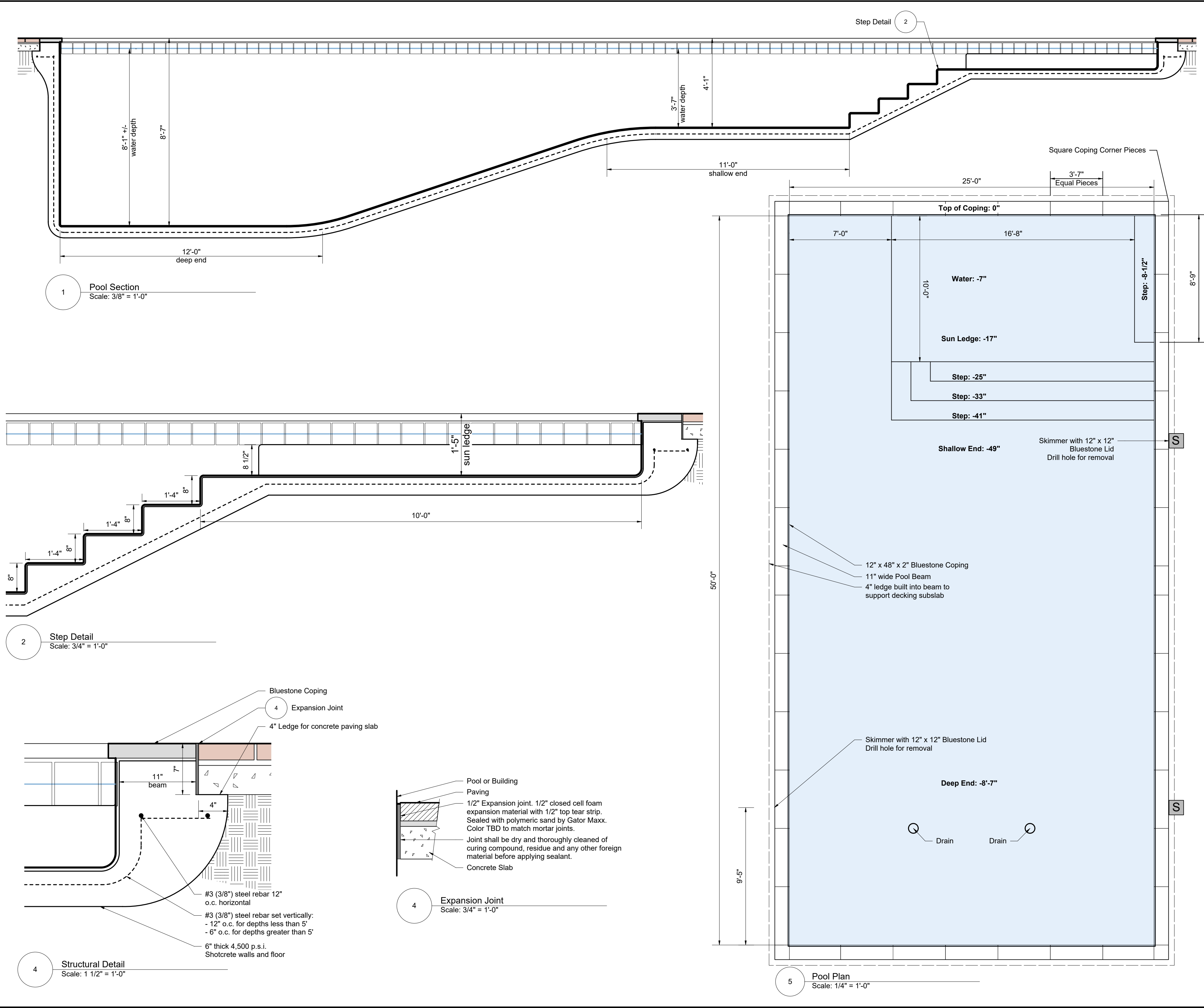
Buffer Management Plan


Scale : 1" = 40'-0"

Drawn by : DMB

L1.1

1st Issue Date 07-27-22





SOUTH FORK STUDIO
LANDSCAPE ARCHITECTURE INC.
10810 CLIFF ROAD
CHESTERTOWN, MD 21620
410 778 1098
www.southforkstudio.com

NOT FOR CONSTRUCTION

REVISIONS	

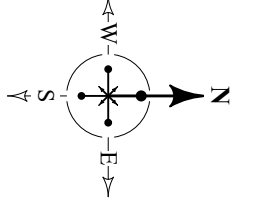
ISSUED FOR:

<input type="checkbox"/> Client Review	<input type="checkbox"/> Revision
<input type="checkbox"/> Bid	<input type="checkbox"/> Coordination
<input checked="" type="checkbox"/> Permit	
<input type="checkbox"/> Construction	

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Politi-Wassmann Residence

6778 Burris Road
Rock Hall, MD 21661



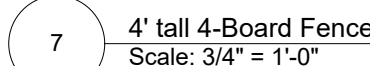
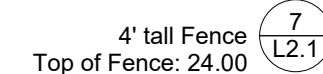
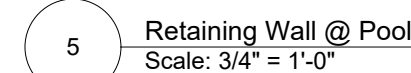
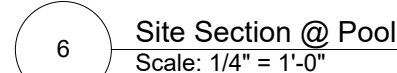
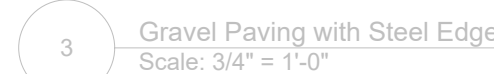
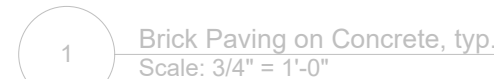
Contractors to Verify Dimensions on Site
Do Not Scale the Drawing

Pool Details

Scale : As Noted
Drawn by : DMB

L2.0

1st Issue Date	07-27-22
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REVISIONS

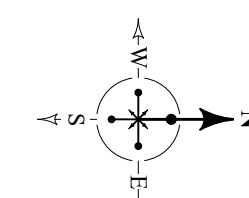
ISSUED FOR:

- ☐ Client Review ☐ Revision
☐ Bid ☐ Coordination
☒ Permit
☐ Construction

These drawings and specifications and the ideas represented thereby are and shall remain the property of the Landscape Architect. No part thereof shall be copied or used in connection with any work or project or by any other person for any purpose other than for the specific project for which they have been prepared and developed without the written consent of the Landscape Architect.

Politi-
Wassmann
Residence

6778 Burris Road
Rock Hall, MD 21661



Contractors to Verify Dimensions on Site
Do Not Scale the Drawing

Site Details

Scale : As Noted
Drawn by : DMB

L2.1

1st Issue Date	07-27-22
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To: Mark Carper, Associate Planner, Planning Director's Designee
From: Carla Gerber, Deputy Director
Date: September 6, 2022
Subject: #22-58 – Joseph and Mavis Jones
Administrative Special Exception – Accessory Storage Structure

Preliminary Staff Report

DESCRIPTION OF PROPOSAL

Mr. and Mrs. Jones are requesting an administrative special exception in order to construct an accessory building with a median height of 19 feet 1 inch on a parcel less than 5 acres. The structure exceeds the 17-foot height limit, thereby requiring a special exception. The additional height is desired to allow for a 14-foot garage door as the building will be used to store an RV travel trailer. The 2.09-acre property is located on 22354 Goose Hollow Drive in the Sixth Election District and is zoned AZD.

RELEVANT ISSUES

I. Permitted and Accessory Uses

- A. *Applicable Law:* Article V, Section 1.3 of the Kent County *Land Use Ordinance* establishes principal uses and structures that may be permitted as special exceptions within the Rural Residential District.
- B. *Staff and TAC Comments:* The applicant is proposing to construct a 30-foot x 40-foot accessory building with a median height of 19 feet and overall height of 21 feet. Accessory structures with a median height over 17 feet on a parcel less than 5 acres require an administrative special exception.

II. Special Exception – General Standards

- A. *Applicable Law:* Article VII, Section 2 of the Kent County *Land Use Ordinance* establishes the Special Exception standards and requires the Planning Director to make findings on the following where appropriate:
 - 1. The nature of the proposed site, including its size and shape and the proposed size, shape, and arrangement of structures;
 - 2. Traffic Patterns;
 - 3. Nature of surrounding area;
 - 4. Proximity of dwellings, houses of worship, schools, public structures, and other places of public gathering;
 - 5. The impact of the development or project on community facilities and services;
 - 6. Preservation of cultural and historic landmarks, significant natural features and trees;
 - 7. Probable effect of noise, vibration, smoke and particulate matter, toxic matter, odor, fire or explosion hazards, or glare upon surrounding properties;
 - 8. The purpose and intent of this Ordinance as set forth in Article II;
 - 9. Design, environmental, and other standards of this Ordinance as set forth in Article V;
 - 10. The most appropriate use of land and structure;
 - 11. Conservation of property values;
 - 12. The proposed development's impact on water quality;
 - 13. Impact on fish, wildlife and plant habitat;

14. Consistency with the Comprehensive Plan, Land Use Ordinance, and where applicable the Village Master Plan;
15. Consistency with the Critical Area Program; and
16. Compatibility with existing and planned land use as described in the Comprehensive Plan, Land Use Ordinance, and where applicable the Village Master Plan.

B. *Staff and TAC Comments:*

- The proposed accessory building will be located in the rear yard. It will be over 200 feet from the front property line.
- There is a 1 story dwelling already on the property.
- Screening along the western property line has already been established.
- Per the Health Department, the placement of the building cannot interfere with the existing drain fields or septic reserve area (SRA).
- The surrounding area is characterized by single family dwellings on similarly sized lots.
- Other homes in the neighborhood have large accessory buildings.
- The Comprehensive Plan does not address this matter.
- The proposal is consistent with the intent of the Ordinance.
- Property values should not be negatively impacted by the proposed structure as it is keeping with the common use of a residential property.
- No mapped sensitive species are within this location.

STAFF RECOMMENDATION

Staff recommends approval of a special exception to construct an accessory building with median height of 19 feet 1 inch. Recommended conditions include:

1. Providing an updated setbacks on the site plan in accordance with Health Department comments.
2. That the special exception hereby granted would lapse after one year if no substantial construction in accordance with the plans herein presented were to occur.

ADMINISTRATIVE HEARING APPLICATION

Kent County Department of Planning, Housing, and Zoning

Kent County Government Center
400 High Street • Chestertown, MD 21620
410-778-7423 (phone) • 410-810-2932 (fax)

IN THE MATTER OF THE APPLICATION OF: (Name, Address and Telephone Number of Applicant)

Joseph and Mavis Jones
22354 Goose Hollow Dr.
Chestertown MD 21620
Email: jockjones13@gmail.com

For Office Use Only:

Case Number: _____
Date Filed: _____
Filed by: _____
Applicant: _____
Date of Hearing: _____
Parties Notified: _____
Notice in Paper: _____
Property Posted: _____

Please provide the email of the one person who will be responsible for responding to comments. Only this person will be contacted by staff and will be the person responsible for forwarding the comments or requests for additional information to any other interested parties. EMAIL: _____

TO THE DEPARTMENT OF PLANNING, HOUSING AND ZONING: In accordance with Article V
Section 5.3 of the Kent County Land Use Ordinance, as amended, request is hereby made for an

Administrative Hearing for:

☒ Variance ☐ Special Exception ☐ Determination of Nonconforming Use

DESCRIPTION OF PROPERTY INVOLVED:

Located on: (Name of Road, etc.) 22354 Goose Hollow Drive Chestertown MD 21620

In the 6TH Election District of Kent County.

Size of lot or parcel of Land: 2.09 acres

Map: EHD 1/220 Parcel: 104/270 Lot #: 8 Deed Ref: Plat Book EHD 1/220

List buildings already on property: Storage shed awaiting demolition permit

Subdivision name and address, if applicable: Pyle Farm.

PRESENT ZONING OF PROPERTY: _____

DESCRIPTION OF RELIEF REQUESTED: (List here in detail what you wish to do with property that requires the Appeal Hearing.)

Construct storage building for lawn equipment and RV travel trailer. A 14' garage door height is necessary for RV access into the building. Due to 14' door height the roof height exceeds 17 foot mean height

Present owner of property: Joe Jones Telephone: 410 490 2018

DEPARTMENT OF
PLANNING, HOUSING & ZONING
RECEIVED CS 7/22/22

If Applicant is not owner, please indicate your interest in this property: _____

Has property involved ever been subject to a previous application? no

If so, please give Application Number and Date: _____

PLEASE FILL IN BELOW, OR ATTACH HERETO, A SKETCH OF THIS PROPERTY.

List all property measurements and dimensions of any buildings already on the property.

Put distances between present buildings or proposed buildings and property lines.

NAMES OF ADJOINING PROPERTY OWNERS:

Owner(s) on the North: Donald Hall

Owner(s) on the South: Roger Reed - vacant lot

Owner(s) to the East: vacant lot - Debbie & Jim Wiener

Owner(s) to the West: David Taylor

Homeowners Association, name and address, if applicable: n/a

BY SIGNING THIS APPLICATION, I GRANT THE DEPARTMENT OF PLANNING, HOUSING AND ZONING THE RIGHT TO ENTER ONTO THE PROPERTY FOR THE PURPOSE OF VIEWING THE SITE OF THE APPLICATION.

Joseph Kojas

Signature of Owner/Applicant/Agent or Attorney

7-22-2022

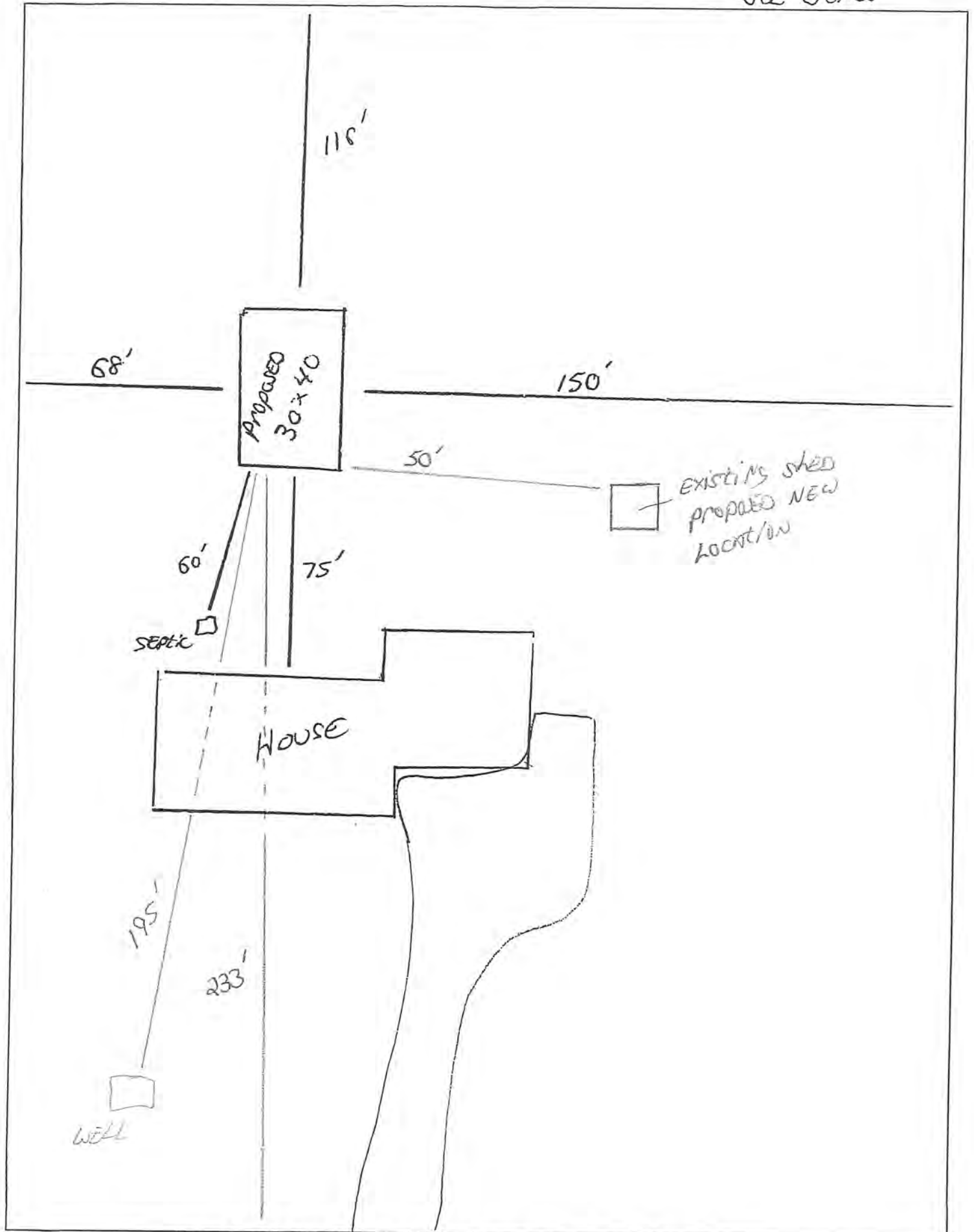
Date

Please file this form at 400 High Street, Chestertown, MD 21620 accompanied by **\$200.00** filing fee made payable to the County Commissioners of Kent County. If you have any questions, contact the Kent County Department of Planning, Housing and Zoning.

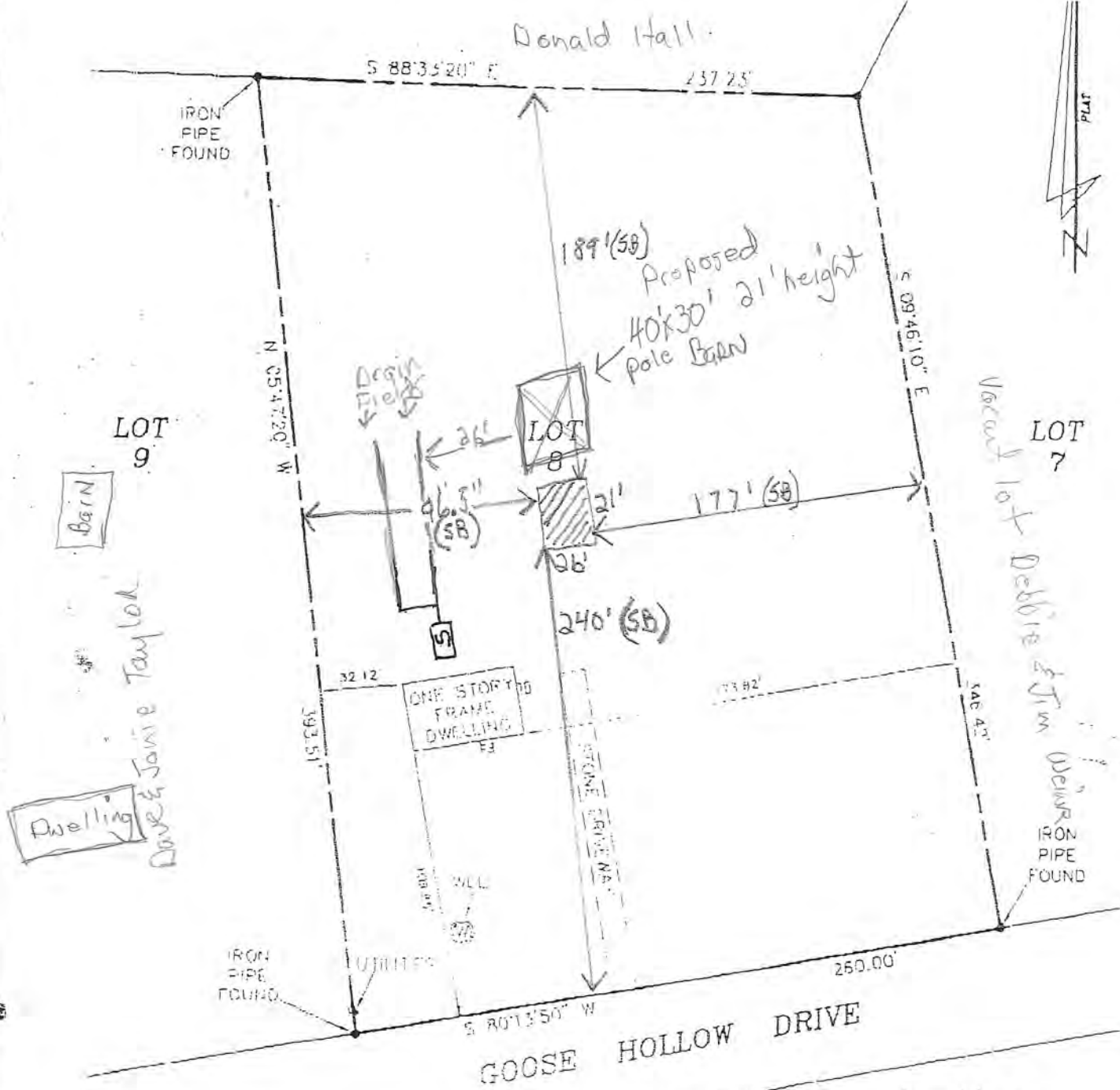
NOTICE: The Department of Planning, Housing and Zoning is not required to make out this application. Application should be filled in by Applicant or its agent. If the Planning Department assists you, they cannot be held responsible for its contents.

Applicants arriving more than 10 minutes after the scheduled hearing will not be heard and will be re-scheduled at the applicant's expense.

JOE JONES



22354 GOOSE HOLLOW DR CHESTEROWN



NOTES:

1. FOR DEED REFERENCE SEE: M.L.M. 104/270
2. FOR PLAT REFERENCE SEE: PLAT BOOK 2 - 10270
3. PROPERTY ADDRESS: 22354 GOOSE HOLLOW DRIVE, CHESTERMAN, MARYLAND 21711
4. THE DWELLING SHOWN HEREON APPEARS TO EXIST WITHIN FLOOD ZONE "C" AREA OF MINIMAL FLOODING AS SCALED FROM FLOOD INSURANCE RATE MAP 240045 0125B. NO ON SITE ELEVATION WAS TAKEN TO VERIFY FIELD CONDITIONS.

(SB) = set back
 vacant lot Roger Reed
 TO FARMER AND GOLF



I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THE IMPROVEMENTS INDICATED HEREON ARE LOCATED AS SHOWN. THIS IS NOT A PROPERTY LINE SURVEY.

A. Kimel
 REGISTERED SURVEYOR

LOCATION DRAWING
 ON LOT 8. OF,

DRAWN BY A. KIMEL
 SCALE 1"=50'

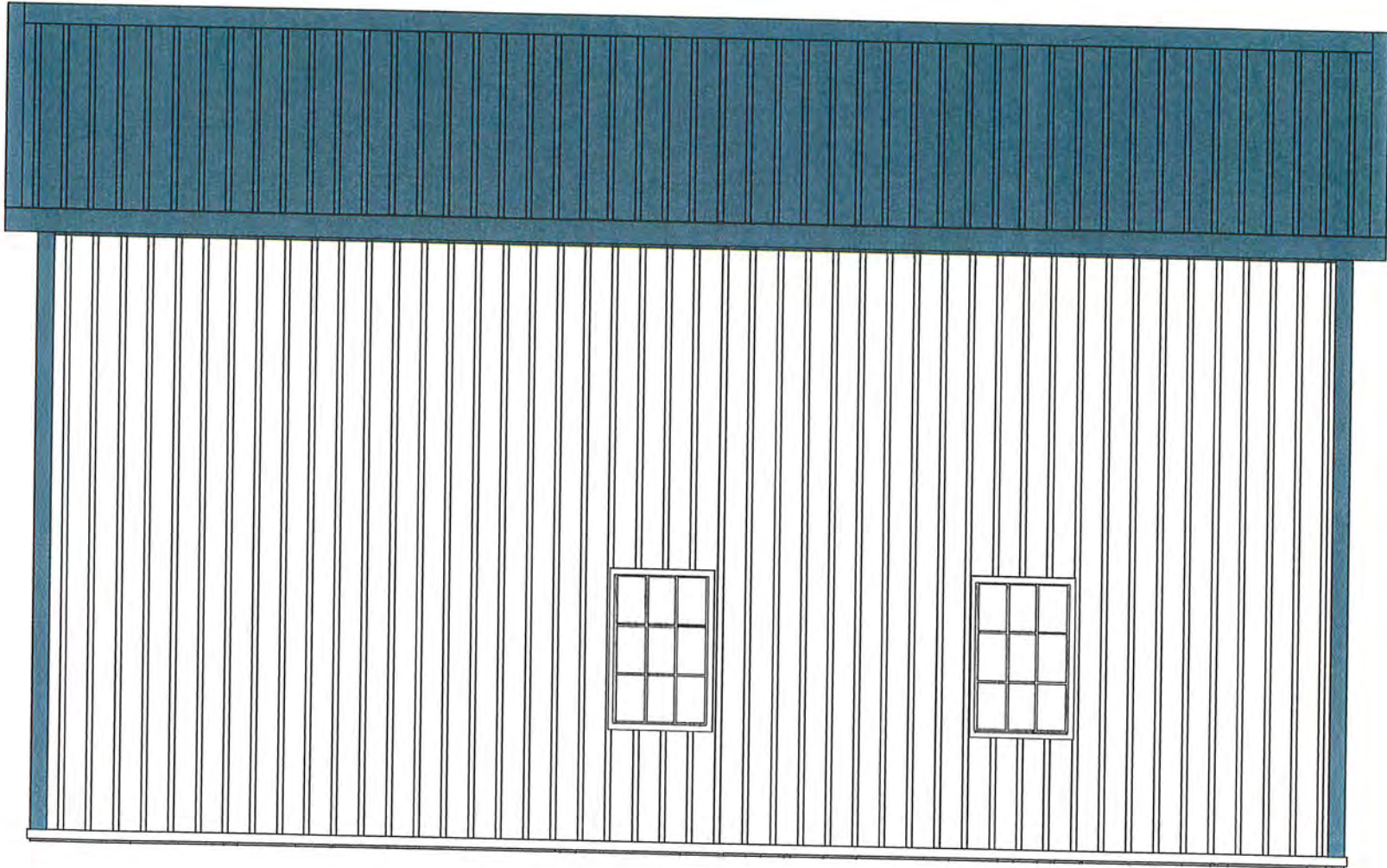


*Colors for ornamental purpose.
*Customer to select actual colors.

REVIEW OF THESE PLANS DOES
NOT RELIEVE THE OWNER OR
CONTRACTOR FROM BUILDING
IN ACCORDANCE WITH ALL
APPLICABLE SECTIONS OF
THE KENT COUNTY BUILDING CODE.
PLANS CHECKED BY: *[Signature]*

EAVE 2 ELEVATION

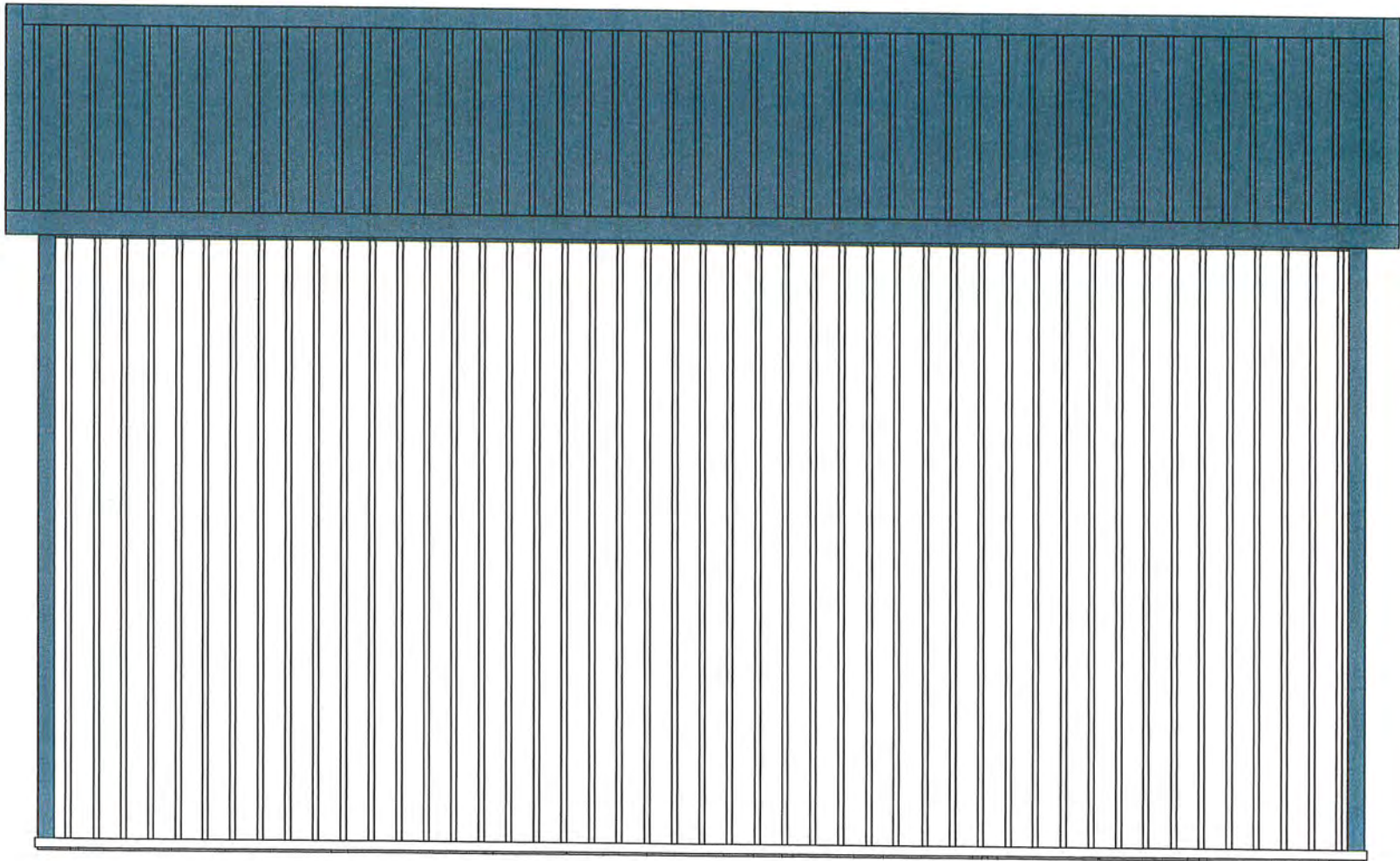
NAME: *Jones*
APPLICATION #: *22-245*
KEEP PLANS AT JOB SITE AT
ALL TIMES.
POST PERMIT & PROTECT FROM
THE WEATHER.





*Colors for ornamental purpose.
*Customer to select actual colors.

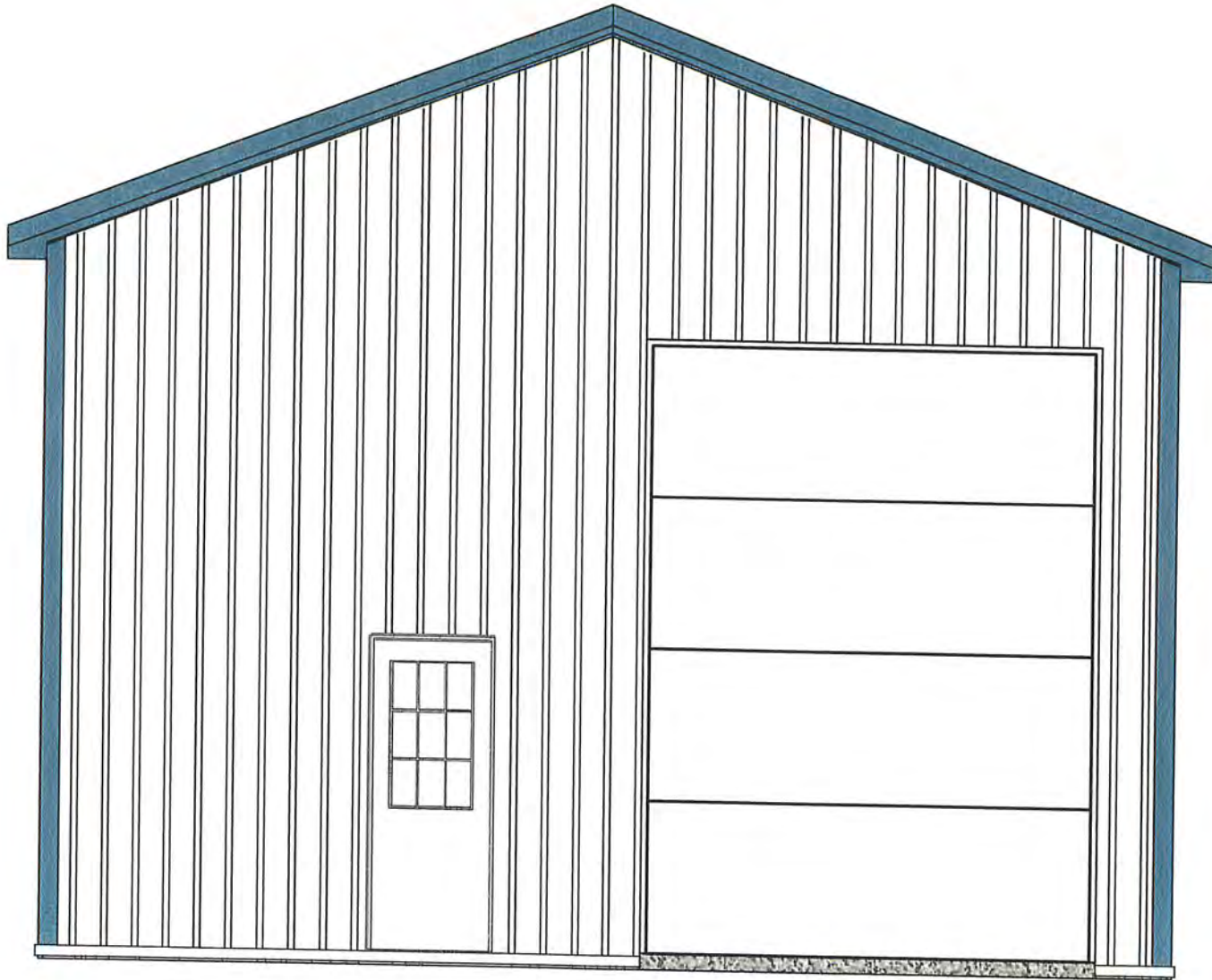
EAVE 1 ELEVATION





*Colors for ornamental purpose.
*Customer to select actual colors.

GABLE 2 ELEVATION

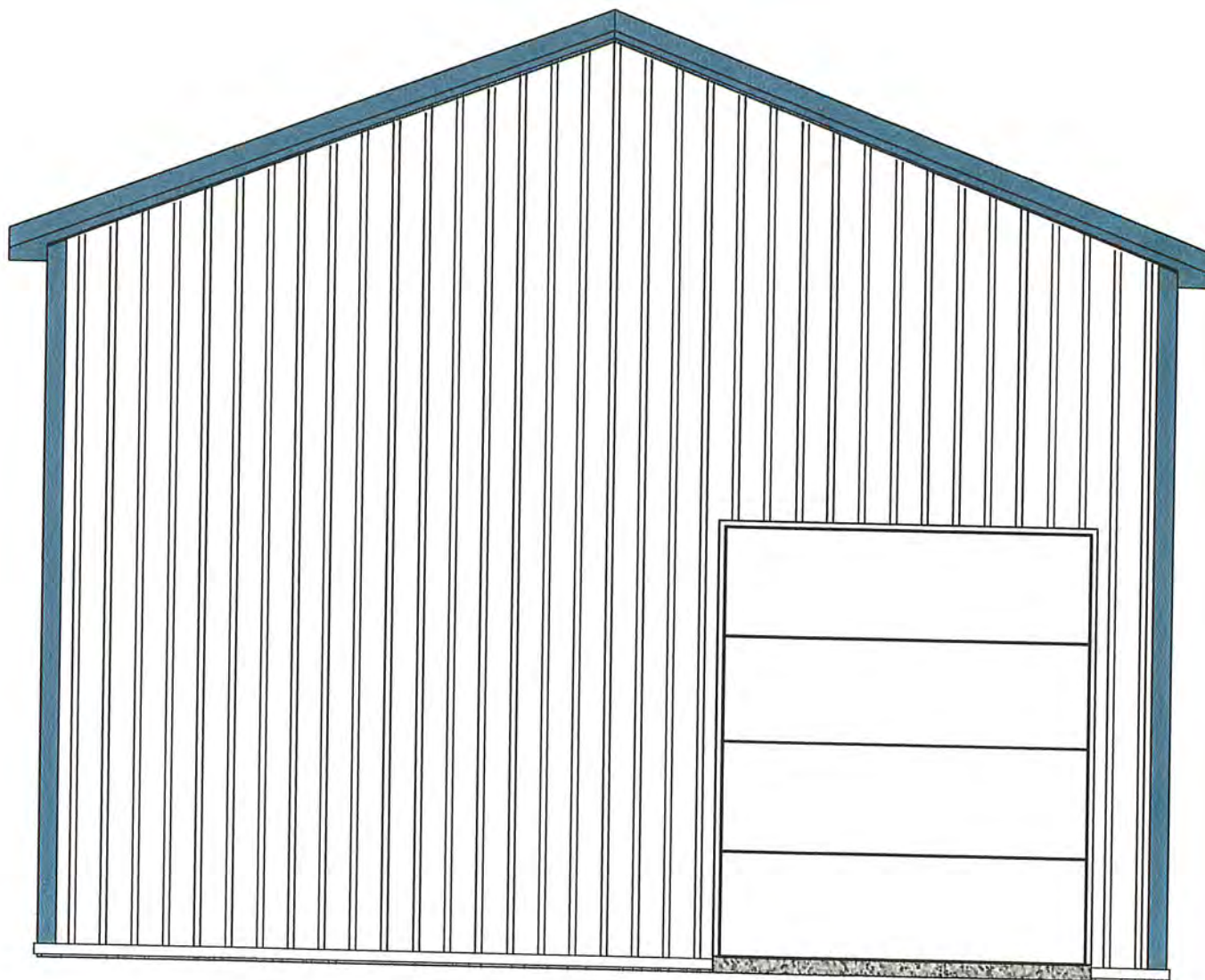


Joe Jones
30x40x16



*Colors for ornamental purpose.
*Customer to select actual colors.

GABLE 1 ELEVATION



Joe Jones
30x40x16

CROSS SECTION

ROOF LAYER 1: RFOIL SINGLE BUBBLE WHITE/FOIL 750
1/8 IN X 72 IN X 125 FT
ROOF LAYER 2: OCEAN BLUE G-RIB STEEL PANEL

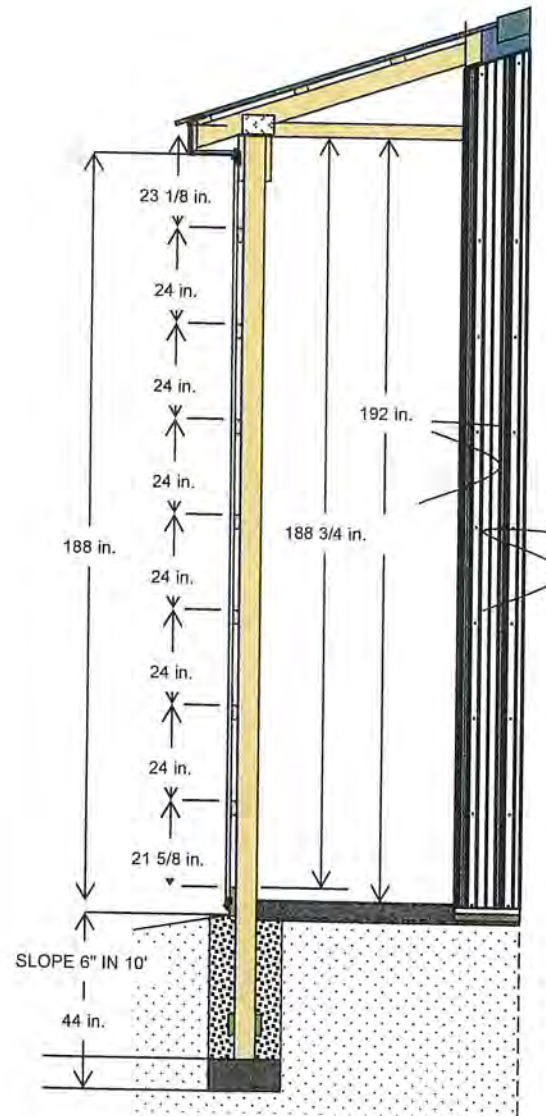
PURLINS: 2 X 4 SPF #2/BETTER FASTENED LAYING FLAT
SUB FACIA: 2 X 8 SYP #1
FACIA COVERING: STEEL 1 1/2 IN. X 7 1/2 IN. ANGLE 8
X 10 FT
UNDEREAVE:

CORNER POSTS: 3 PLY 4.5 X 5.25
INTERMEDIATE POSTS: 3 PLY 4.5 X 5.25 SPACING 8 FT
O.C.
EXTERIOR CARRIER: SYP #1 2 X 12
INTERIOR CARRIER: SYP #1 2 X 12
EXTERIOR WALL GIRTS: SPF #2/BETTER 2 X 4
WALL LAYER 1: G-RIB STEEL PANEL

EXTERIOR SKIRT BOARD: TREATED 2 X 8

SIDING BEGINS 4 1/8 IN. BELOW THE TOP OF SKIRT
BOARD

EARTH GRADE BEGINS 7 IN. BELOW THE TOP OF SKIRT
BOARD



4/12 PITCH TRUSS SYSTEM WITH A STANDARD HEEL
(HEEL HEIGHT: 0-5-12 OR 5 3/4 IN.)
TRUSS SPACING: 48 IN. O.C.
TRUSS LOADING INFORMATION: TCLL/TCDL/BCLL/BCDL
20-5-0-5
TOTAL TRUSS LOADING = 30 P.S.F.
BRACE PER TRUSS MANUFACTURER'S
RECOMMENDATIONS

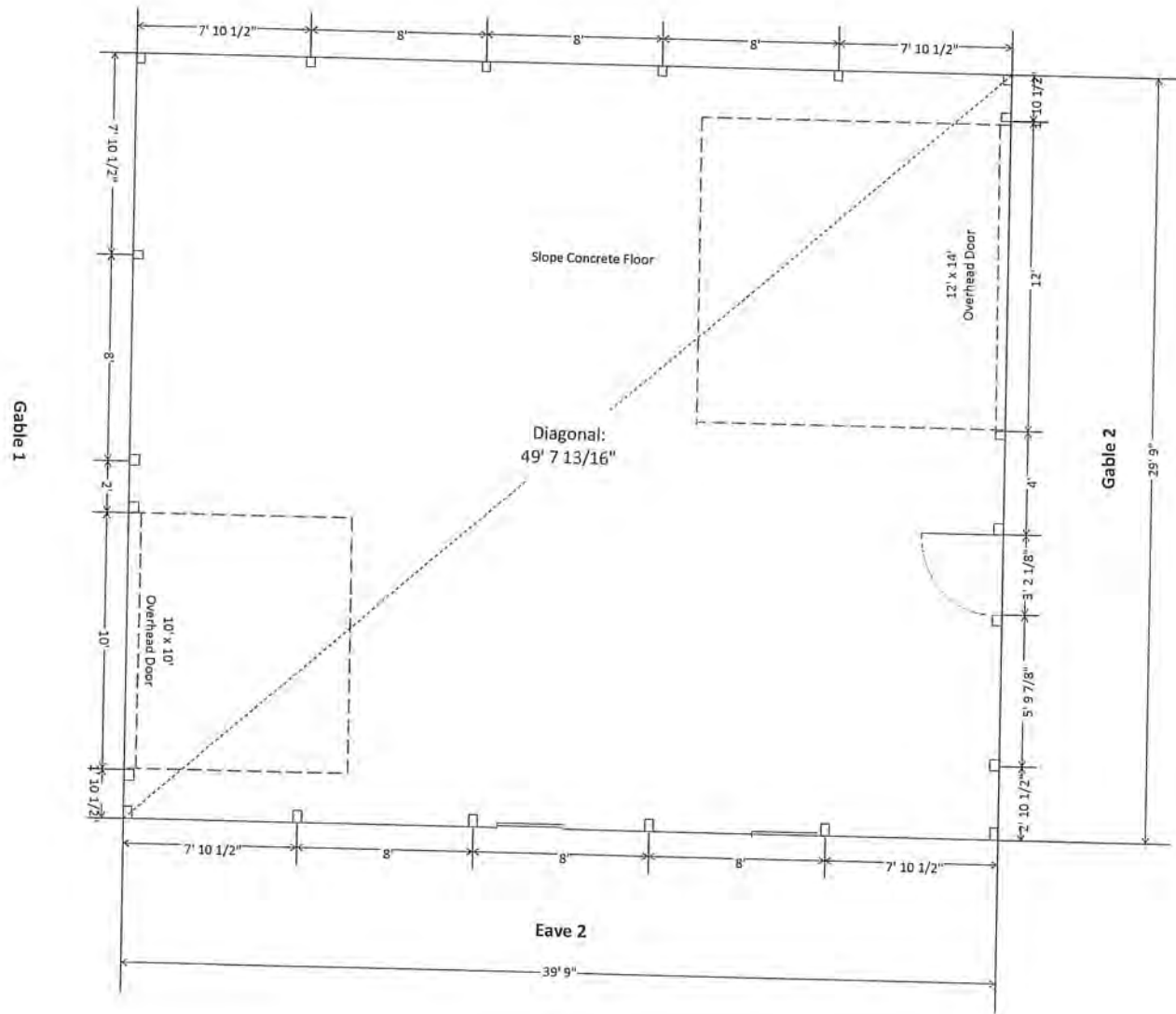
INTERIOR FINISHED FLOOR HT. WILL BE 3 1/4 in.
BELOW THE TOP OF THE SKIRT BOARD
5 IN. CONCRETE FLOOR W/STRUCTURAL STRENGTH -
3500 P.S.I.
UNDISTURBED SOIL OR COMPACTED SAND FILL
BACKFILL HOLE WITH SAND/GRAVEL FILL & COMPACT
PIER FOOTING USING REDI-MIX CONCRETE
WITH MINIMUM STRENGTH/2500 P.S.I.

BARRIER BETWEEN SIDE METAL AND TREATED SKIRT
BOARD
POST CLEATS: TREATED 2 X 6 ON EACH SIDE OF POST
STARTING 6 IN. ABOVE THE FOOTING

POLE LAYOUT

Residential Use, 1200 sq. ft.

Eave 1



To: Mark Carper, Associate Planner, Planning Director's Designee
From: Carla Gerber, Deputy Director
Date: September 6, 2022
Subject: #22-59 – Jeff and Beth Kern
Administrative Special Exception – Accessory Storage Structure

Preliminary Staff Report

DESCRIPTION OF PROPOSAL

Jeff and Beth Kern are requesting an administrative variance of 7.3 feet and 1.4 feet from the required 15-foot side yard setbacks so as to replace an existing structure in almost the same footprint. The 9,259 square foot property is located at 13840 Turners Point Road in the Second Election District and is zoned Critical Area Residential (CAR).

RELEVANT ISSUES

I. Permitted and Accessory Uses

- A. *Applicable Law:* Article V, Section 5.2 of the *Kent County Land Use Ordinance* establishes permitted principal uses and structures within the Critical Area Residential District.
- B. *Staff and TAC Comments:* The applicant is proposing to replace a single-family dwelling.

II. Density, Height, Width, Bulk, and Fence Requirements

- A. *Applicable Law:* Article V, Section 5.5 of the *Kent County Land Use Ordinance* establishes the density, height, width, bulk, and fence requirements for the Critical Area Residential District.

Minimum Lot Size	½ acre
Minimum Lot Width	75 feet
Minimum Yard	
Front	50 feet
Side	15 feet
Rear	30 feet

- B. *Staff and TAC Comments:* The existing home was constructed prior to the current bulk standards and currently encroaches into the required side yard setbacks. The right side is currently 7.7 feet from the property line and the left side is 13.6 feet. The owners wish to demolish and rebuild the house. The property is buffer modified, and the new house will not encroach further into the buffer than the existing dwelling. A small addition will be located toward the rear and a bay window on the front will be squared off resulting in an expansion of 332 square feet. The lot is only 50 feet wide, leaving only 20 feet of buildable width. The location of holding tanks also limit how narrow the house can be built.

III. Variance

- A. *Applicable Law:* Article IX Section 2.1 of the *Kent County Land Use Ordinance* authorizes the Planning Director, or the Planning Director's designee, to grant variances from the yard (front, side, or rear) requirements in an amount that does not exceed 50% of the required yard for the applicable zoning district so as to relieve practical difficulties or other injustices arising out of the strict application of the provision of the Ordinance.

Such granting of a variance shall comply, as nearly as possible, in every respect to the spirit, intent, and purpose of this Ordinance; it being the purpose of this provision to authorize the granting of variation only for reasons of demonstrable practical difficulties as distinguished from variations sought for purposes or reasons of convenience, profit, or caprice.

In order to grant a variance, the Planning Director, or the Planning Director's designee, must find all the following:

- a. That the *variance* will not cause a substantial detriment to adjacent or neighboring property.
 - b. That the *variance* will not change the character of the neighborhood or district.
 - c. That the *variance* is consistent with the *Comprehensive Plan* and the general intent of this Ordinance.
 - d. That the practical difficulty or other injustice was caused by the following:
 - i. Some unusual characteristic of size or shape of the property.
 - ii. Extraordinary topographical or other condition of the property.
 - iii. The use or *development* of property immediately adjacent to the property, except that this criterion shall not apply in the *Critical Area*.
 - e. That the practical difficulty or other injustice was not caused by the applicants' own actions.
 - f. ...
 - g. In considering an application for a *variance*, the Planning Director, or the Planning Director's designee, shall consider the reasonable use of the entire parcel or lot for which the *variance* is requested.
 - h. In considering an application for a *variance*, the Planning Director, or the Planning Director's designee, shall presume that the specific *development* activity in the Critical Area that is subject to the application and for which a *variance* is required does not conform with the general purpose and intent of this Ordinance and the Critical Area Law.
 - i. The Planning Director, or the Planning Director's designee, may consider the cause of the *variance* request and if the *variance* request is the result of actions by the applicant, including the commencement of *development* activity before an application for a *variance* has been filed.
- B. Staff and TAC Comments:
- The Health Department has approved the location of the new holding tanks and well.
 - The variance will not cause a substantial detriment to adjacent or neighboring properties.
 - The practical difficulty is caused by narrowness of the property which predates current regulations, as well as the locations of septic and well.
 - There will be a net reduction of 90 square feet of lot coverage.
 - The Comprehensive Plan is neutral on this application. The request is consistent with the Critical Area Law. The proposed development is a reasonable use of the property.

STAFF RECOMMENDATION

Staff recommends approval of side yard setback variances of 7.3 feet and 1.4 feet to allow construction of a replacement dwelling. Recommended conditions include:

1. Mitigation equal to 3 times the footprint of the expansion be planted within the buffer. Based on the plans presented, 996 square feet of mitigation is required.
2. That the special exception hereby granted would lapse after one year if no substantial construction in accordance with the plans herein presented were to occur.

ADMINISTRATIVE HEARING APPLICATION

Kent County Department of Planning, Housing, and Zoning

Kent County Government Center
400 High Street • Chestertown, MD 21620
410-778-7423 (phone) • 410-810-2932 (fax)

IN THE MATTER OF THE APPLICATION OF: (Name, Address and Telephone Number of Applicant)

JEFF AND BETH KERN
13840 TURNERS POINT ROAD
KENNEDYVILLE, MD 21645
Email: JKERN23871@GMAIL.COM

For Office Use Only:

Case Number: _____
Date Filed: _____
Filed by: _____
Applicant: _____
Date of Hearing: _____
Parties Notified: _____
Notice in Paper: _____
Property Posted: _____

Please provide the email of the one person who will be responsible for responding to comments. Only this person will be contacted by staff and will be the person responsible for forwarding the comments or requests for additional information to any other interested parties. EMAIL: _____

TO THE DEPARTMENT OF PLANNING, HOUSING AND ZONING: In accordance with Article _____
Section _____ of the Kent County Land Use Ordinance, as amended, request is hereby made for an

Administrative Hearing for:

_____ Variance ☒ Special Exception _____ Determination of Nonconforming Use

DESCRIPTION OF PROPERTY INVOLVED:

Located on: (Name of Road, etc.) 13840 TURNERS POINT ROAD, KENNEDYVILLE, MD

In the 2ND Election District of Kent County.

Size of lot or parcel of Land: 9,259 SF

Map: 0006 Parcel: 030 Lot #: _____ Deed Ref: MLM 545/523

List buildings already on property: (1) CABIN, (1) SHED (BOTH PROPOSED TO BE DEMOLISHED)

Subdivision name and address, if applicable: _____

PRESENT ZONING OF PROPERTY: CRITICAL AREA RESIDENTIAL

DESCRIPTION OF RELIEF REQUESTED: (List here in detail what you wish to do with property that requires the Appeal Hearing.) EXISTING CABIN IS PARTIALLY W/IN 100' BUFFER AND FOUNDATION

IS FAILING AND NOT REASONABLY REPAIRABLE. CABIN IS PROPOSED TO BE TORN DOWN
W/ NEW CABIN/FDN. INSTALLED IN SAME FOOTPRINT AS EXIST. THE NEW CABIN IS
PROPOSED TO HAVE SOME ADDITIONAL SF (OUTSIDE BUFFER) COMPARED TO EXISTING.
A NEW SINGLE CAR GARAGE IS PROPOSED OUTSIDE THE BUFFER. THE EXISTING LOT IN

Present owner of property: JEFF AND BETH KERN Telephone: 610.405.4584

NONCONFORMING IN SIZE, W/ EAST SIDE YARD SETBACKS TO EXISTING CABIN, OF 7.7' AND
13.6'. THE REPLACEMENT CABIN IS PROPOSED TO MAINTAIN THE EXISTING SIDE YARD SETBACKS
OF 7.7' AND 13.6', AND WE ARE REQUESTING AN ADMIN. VARIANCE, AS SUCH.

If Applicant is not owner, please indicate your interest in this property: JOHN C. HUTCHESON
ARCHITECT OF PROJECT

Has property involved ever been subject to a previous application? NO

If so, please give Application Number and Date: _____

PLEASE FILL IN BELOW, OR ATTACH HERETO, A SKETCH OF THIS PROPERTY.

List all property measurements and dimensions of any buildings already on the property.

Put distances between present buildings or proposed buildings and property lines.

NAMES OF ADJOINING PROPERTY OWNERS:

Owner(s) on the North: DAVID A. CHESTMAN

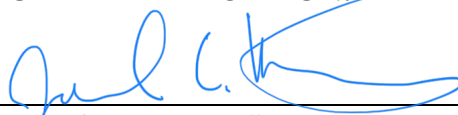
Owner(s) on the South: MATTHEW S. OLLOTT

Owner(s) to the East: TURNERS POINT ROAD

Owner(s) to the West: TURNERS CREEK.

Homeowners Association, name and address, if applicable: _____

BY SIGNING THIS APPLICATION, I GRANT THE DEPARTMENT OF PLANNING, HOUSING AND ZONING THE RIGHT TO ENTER ONTO THE PROPERTY FOR THE PURPOSE OF VIEWING THE SITE OF THE APPLICATION.


Signature of Owner/Applicant/Agent or Attorney

7/29/22
Date

Please file this form at 400 High Street, Chestertown, MD 21620 accompanied by **\$200.00** filing fee made payable to the County Commissioners of Kent County. If you have any questions, contact the Kent County Department of Planning, Housing and Zoning.

NOTICE: The Department of Planning, Housing and Zoning is not required to make out this application. Application should be filled in by Applicant or its agent. If the Planning Department assists you, they cannot be held responsible for its contents.

Applicants arriving more than 10 minutes after the scheduled hearing will not be heard and will be re-scheduled at the applicant's expense.

August 31, 2022

**Re: JHA Project #21010 - Turners Point Road Renovation
13840 Turners Point Road, Kennedyville, MD
Special Exception Narrative**

To whom it may concern,

The following narrative contains comments I would like to make in support of our request for a Special Exception Administrative Variance relative to the side yard setbacks of a replacement dwelling, located at the address identified above.

- A. The existing residential structure on this property is a small cabin which has a failing foundation in severe disrepair. After studying and analyzing the existing foundation, we determined that replacement of the existing foundation would be an extremely difficult task and exorbitantly expensive, and that a complete replacement of the existing dwelling would be near the same cost as trying to replace the existing foundation while keeping the cabin in place. As such, we approached the County about our intentions to building a new cabin within the same footprint as the existing, except to add some additional area to the existing cabin outside the 100' buffer. The existing lot is non-conforming to its Critical Area Residential Zoning in both size and width, which necessitates us to request a Special Exception of the Northern Side Yard setback. The side yard setback requirement within the Zoning Ordinance is 15'. We are requesting a Special Exception of a side yard setback of 7.7', which is the present closest distance to the Property Line of the Existing Residence.
- B. The Existing Residence is 2 Bedrooms, and the proposed replacement dwelling remains at 2 Bedrooms. The design has been previously approved by John Beskid (now retired), and will require 2 new holding tanks and a new well to be installed (also approved per the Site Plans of the submitted drawings), as a new septic drain field is not feasible due to the limiting size of the property and neighboring well locations.
- C. The proposed design, including the proposed new single car Garage, and proposed driveway modifications, nets a reduction of 90 sq ft of impervious coverage from what currently exists. A Buffer Management and Planting Plan has been provided as part of the submitted drawings. Additionally, it is our position that the proposed addition will have no impact on fish, wildlife, plant habitat, or water quality, and is consistent with the Critical Area Program.
- D. The design of the replacement dwelling and detached Garage, is intentionally modest, and within keeping of the modest aesthetic of surrounding residences on this Road. The scale and design of the proposed buildings are consistent with the County Comprehensive Plan and Land Use Ordinance, except the lot size is undersized as identified above. The proposed replacement structure utilizes the same footprint is the prior structure, with the exception of approximately 300 sq ft of new area on the Northeastern corner of the new residence. The additional square footage does not encroach any closer to the side yard property line than the current structure. The covered entry to the house is also on the North side of the house, and is resultant of our 7.7' side yard setback request, which is the same distance to the side yard as the existing house steps on the Northwestern corner. Accordingly the proximity to neighboring structures of the present design is consistent with what already exists.

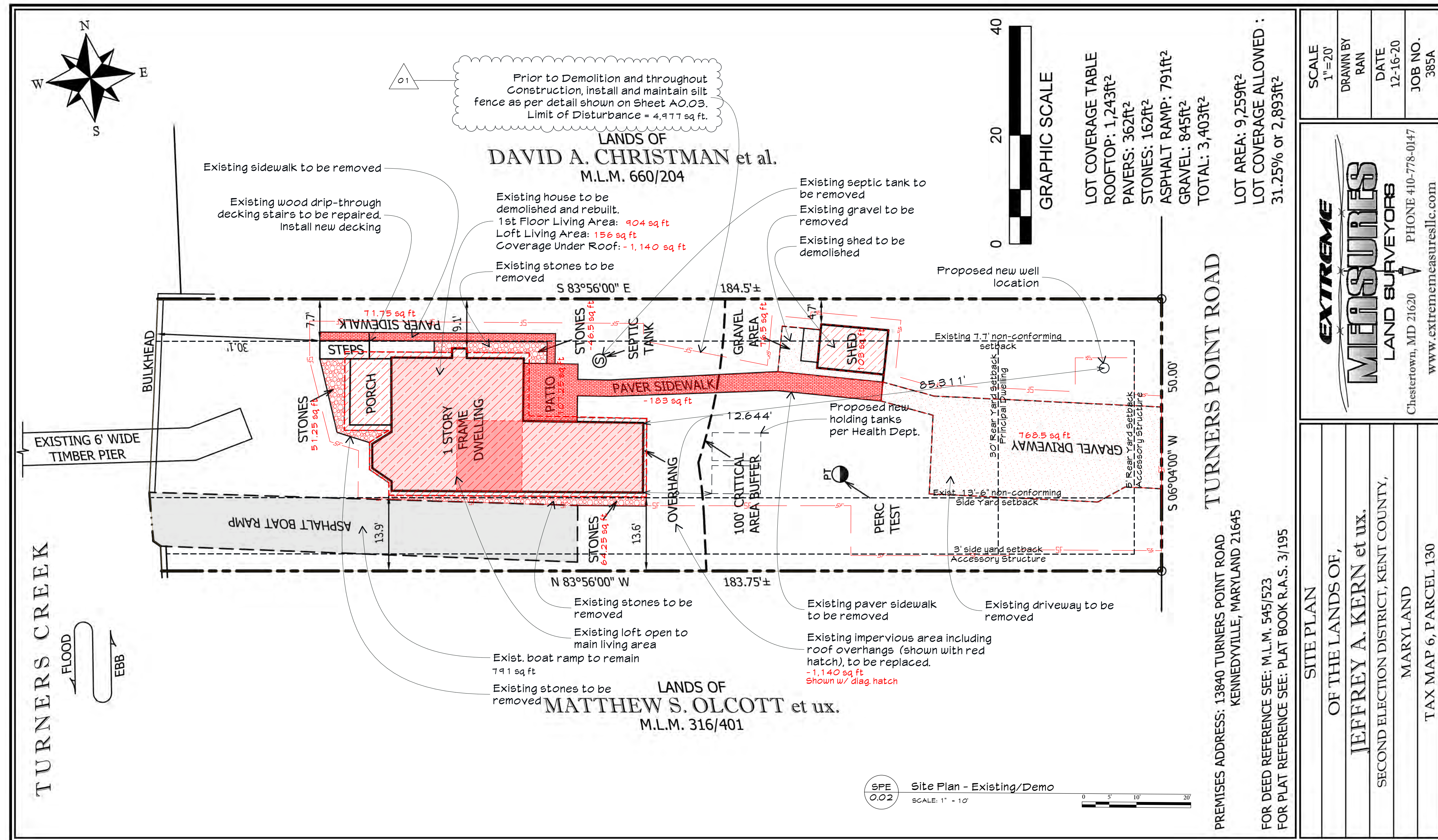
E. The proposed design is modest, and much smaller than the neighboring structures. The impact of the proposed design on neighboring structures is respectful, and much less than the neighboring structures' impact on this property. We consider the design to be consistent within the land use ordinance. Additionally, neighboring land use values will only be improved as a result of the proposed improvements of this project.

I trust the above comments will help you understand this project, and why we consider our request for a Special Exception to be reasonable, and not in conflict with the County's Land Use Standards.

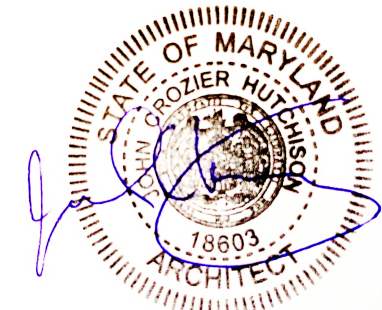
My sincerest thank you, for your time and consideration,



John C. Hutchison, AIA
John Hutchison Architecture



635 High Street
Chestertown, MD 21620
410.449.0466
johnhutcharch@gmail.com
www.johnhutcharch.com



Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly Licensed Architect under the Laws of the State of Maryland, License Number 18603. Expiration Date 6/14/2022.

Drawings and Specifications as instruments of service are and shall remain the property of the Architect. They are not to be used on extensions of the project, or other projects, except by agreement in writing and appropriate compensation to the Architect.

The General Contractor is responsible for confirming and correlating dimensions at the job site. The Architect will not be responsible for construction means, methods, techniques, sequences, or procedures, or for safety precautions and programs in connection with the project.

© John Hutchison Architecture

Project Number: JHA 21010

Turners Creek Residence

13840 Turners Point Road
Kennedyville , MD 21645
Kent County

for

Jeff and Beth Kern

REVISIONS

[illegible]

Note: 3D Images are shown for reference only and shall not be used for Actual Construction.

Note: Full Size drawings are typically printed on 22x34 or 24x36 paper. If printed on 11x17 or 13x19 paper, it is likely the drawings are printed using a 50% reduction. Please verify scale of all drawings.

PRELIMINARY

FOR PERMITTING ONLY
NOT FOR CONSTRUCTION

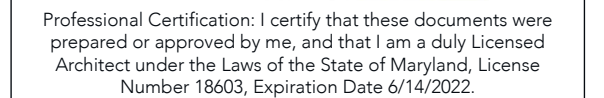
Permit Documents

1/4/22

Site Plan - Existing/Demo

A

0.02



The General Contractor is responsible for confirming and correlating dimensions at the job site. The Architect will not be responsible for construction means, methods, techniques, sequences, or procedures, or for safety precautions and programs in connection with the project.

© John Hutchison Architecture

for
Jeff and Beth Kern

[illegible]

Note: Full Size drawings are typically printed on 22x34 or 24x36 paper. If printed on 11x17 or 13x19 paper, it is likely the drawings are printed using a 50% reduction. Please verify scale of all drawings.

Site Plan - Proposed

0.03





PROPOSED WELL
+ GARAGE
LOCATION

8) PROVIDED WE
TEAR DOWN AND
RE-BUILD IN PLACE
(INCLUDING "ADDITIONS"
#2 AND #3) AND
DO NOT GO CLOSER
TO SHORELINE THAN EXISTING,
WE WILL NOT REQUIRE
A VARIANCE, PROVIDED
WE ALSO MEET THE LOT
COVERAGE REQUIREMENTS.

① TEAR DOWN
EXISTING AND
BUILD NEW IN-PLACE,
INCLUDING NEW
FDN.

② SQUARE OFF EXIST. RAY,
BUT NO CLOSER TO
WATER THAN EXIST.

③ EXTEND FOOTPRINT OF HOUSE.

④ BUILD NEW GARAGE.

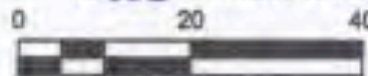
(5) FINAL LOT COVERAGE
TO NOT EXCEED
3.403 S.F.

⑥ DESIGN BUFFER LANDSCAPE PLAN FOR NEW DISTURBANCE.

*SHED TO BE REMOVED

⑦ NEW HOLDING TASKS
FOR 2 BR HO USE
(ALREADY PERMITTED BY
HEALTH DEPT)
EXISTING WELL

PROPOSED NEW
WELL LOCATION



GRAPHIC SCALE

LOT COVERAGE TABLE
ROOFTOP: 1,243ft²
PAVERS: 362ft²
STONES: 162ft²
ASPHALT RAMP: 791ft²
GRAVEL: 845ft²
TOTAL: 3,403ft²

LOT AREA: 9,259ft²

LOT COVERAGE ALLOWED :
31.25% or 2,893R²

PREMISES ADDRESS: 13840 TURNERS POINT ROAD
KENNEDYVILLE, MARYLAND 21645

FOR DEED REFERENCE SEE: M.L.J., 545/523
FOR PLAT REFERENCE SEE: PLAT BOOK P.A.S. 3/195

TURNERS POINT ROAD

SITE PLAN

OF THE LANDS OF.

JEFFREY A. KERN et ux.

SECOND ELECTION DISTRICT, KENT COUNTY.

MARYLAND

TAX MAP 6, PARCEL 130

EXTREME

MEASURES

LAND SURVEYOR

Chesham, MD 20620

PHONE 410-778-0347

www.centriscience.com

SCALE

 $1^{\circ}=20'$

DRAWN BY
RAN

DATE
12-16-20

JOB NO.
385A